



Application

Narrative

Cash Transmittal

Development Standards

# Project Narrative

690-PA-2018 / 2-ZN-2019

Rezoning and Development Review Board for:

## 75 on 2<sup>nd</sup>

### A Boutique Apartment Infill Development

Location: Northeast Corner of 75<sup>th</sup> Street & 2<sup>nd</sup> Street  
7502 N. 2<sup>nd</sup> Street

Request: Rezone from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay)

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Date: May 4<sup>th</sup>, 2019 (Rezone 2<sup>nd</sup> / DRB 1<sup>st</sup> Submittal)



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## Overview

### The Request

This request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current **S-R DO** allows for a density of 23 DU/Ac and a height of 26 feet.

The current **D/OR-2 DO** allows for a density of 50Du/Ac and a height of 66 feet.

The current zoning would allow for the proposed density of the project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

The existing site contains three office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development.

The current owner, Clayton Companies ([claytoncompanies.com](http://claytoncompanies.com)) is planning to re-develop the site into a high-quality boutique apartment building, as per the attached plans. The Clayton Companies, headed by Tom Frenkel, has developed or redeveloped numerous high-quality projects throughout Scottsdale over the last 3 decades. Notable residential developments include **The Tom/Scot** ([thetomscot.com](http://thetomscot.com)), and **77 on the Park** ([77onthepark.com](http://77onthepark.com)), in Scottsdale, both of which were also designed by K&I Homes, and proven to be very successful projects.

The Clayton Companies goals are to build long-term relationships with both their tenants and the community. They look beyond short-term gains, and design and build for a long-term hold, retaining ownership of their buildings for decades. Consequently, this proposed project includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size (1 Bedroom units averaging 870 SF, and 2 Bedroom units averaging 1,370 SF), separate laundry and powder rooms, large 8' deep balconies (average size 190 SF – more than three times that required by ordinance). In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size. Experience has shown that this leads to longer-term leases and very low turnover rates, where residents get to know each other, form long term relationships and create a truly comfortable and secure sense of community.

This proposed project that will include 39 living units, in a 3 and 4 story building. Associated amenity areas will be included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.



## The Context

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density.

To the East is the Scottsdale Public Library and Civic Center Mall.

To the North are several older office and residential properties, separated by the existing alley.

To the West is a newly redeveloped residential office

To the South is The Clayton House, a special events venue recently completed by the same developer, and cited in the Old Town Scottsdale Character Area Plan for high quality design through adaptive reuse.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for multi-family residential rental units in the area.

The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. It will promote an integrated, sustainable character for the area with a strong live, work and play component.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

## The Design

The Building Style can be considered as Modern or Contemporary with a Mid-Century Modern twist. It is a timeless design characterized by straight edges and smooth rectilinear forms in a balanced composition that expresses the form and functionality of its components.

The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors.

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to existing adjacent properties.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

## The Open Space / Landscaping

The proposed project promotes the value of usable open space on several levels and creates a walkable community with connectivity to the surrounding land uses. While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space, including a boutique hotel like pool/amenity area along the 75<sup>th</sup> Street frontage, creating a gathering place that fosters social interaction among residents. While a safety/security fencing is needed around the pool area, it is visually open to the street. A large activity deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. In addition to that all of the units fronting the streets have continuous 8' deep balconies along the entire unit. Averaging 2-300 SF,

these balconies become outdoor living extensions of the units, rather than just a required ordinance appendix. They are sure to be frequently utilized by residents, supporting leisure and high quality of life.

While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor.

The landscaping for the development will be in conformance with city standards and approved palette. Low-water use indigenous plants and trees will be used throughout the project. Turf areas for active and passive recreational use will utilize artificial turf material to conserve water use.

Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### The Environment

The design will respect and enhance the unique climate through the use of solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors.

The interior parking garage eliminates all asphalt from the site, significantly reducing the typical heat-island effect.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features.

### The Pedestrian

The site is ideally located within close proximity (walking distance) to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment.

The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses. This promotes reduced vehicular trip generation, and a sustainable, walkable community.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

### The Parking

There is no Parking Lot. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

There will be no vehicular access drives from either street. Existing driveway along 75<sup>th</sup> Street is being removed, and two additional on street parking spaces added instead.

## Scottsdale General Plan 2001

The Scottsdale General Plan designates the property as 'Mixed-Use Neighborhoods'

**MIXED-USE NEIGHBORHOODS:** Mixed-use neighborhoods are located in areas with strong access to multiple modes of transportation and major regional access and services, and have a focus on human scale development. These areas could accommodate higher density housing combined with complementary office or retail uses or mixed-use structures with residential above commercial or office. 75on2nd is a higher density residential project that provides complimentary office use for the residents.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the General Plan.

### CHARACTER AND DESIGN

#### **Goal 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.**

- Respond to regional and citywide contexts with new and revitalized development in terms of:
  - Scottsdale as a southwestern desert community.
  - Scottsdale as a part of a large metropolitan area with a unique reputation, image, character and identity within its regional setting.
  - Relationships to surrounding land forms, land uses and transportation corridors.
  - Contributions to city wide linkages of open space and activity zones.
  - Consistently high community quality expectations.
  - Physical scale relating to the human perception at different points of experience.
  - Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.
  - Visual and accessibility connections and separations.
- Enrich the lives of all Scottsdale citizens by promoting safe, attractive, and context compatible development.
- Encourage projects that are responsive to the natural environment, site conditions, and unique character of each area, while being responsive to people's needs.
- Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for high quality multi-family residential rental units in the area.

The site is ideally located in close walking distance to a variety of civic, cultural, sports, entertainment, and services related activities and businesses, as well as two of Scottsdale's largest employers (Honor Health and City of Scottsdale). Bus and trolley services are also available in short walking distance. 75<sup>th</sup> and 2<sup>nd</sup> Street provides connectivity to and from Old Town Public Spaces for pedestrians and bicyclists alike. The site is also very close to two major arterials (Scottsdale Rd and Indian School), as well as the Loop 101, providing easy regional access.

The design will respect and enhance the unique character of Scottsdale, with high quality context appropriate design. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

**Goal 2. Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community.**

- Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.
- Promote, evaluate and maintain the Scottsdale Sensitive Design Principles that when followed will help improve and reinforce the quality of design in our community.

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. Refer to discussion on Scottsdale's Sensitive Design Principles in Section V below.

**Goal 6. Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial, mature landscaping that reinforces the character of the city.**

- Require substantial landscaping be provided as part of new development or redevelopment.
- Maintain the landscaping materials and pattern within a character area.
- Encourage the use of landscaping to reduce the effects of heat and glare on buildings and pedestrian areas as well as contribute toward better air quality.
- Discourage plant materials that contribute substantial air-borne pollen.
- Encourage landscape designs that promote water conservation, safe public settings, erosion protection, and reduce the "urban heat island" effect.

While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space.

The landscape palette has been selected to compliment the adjacent area by continuing the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

Native & low water use plants have been chosen to provide a large variety of texture and form. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

**Goal 7. Encourage sensitive outdoor lighting that reflects the needs and character of different parts of the city.**

- Encourage lighting designs that minimize glare and lighting intrusions into neighborhood settings.
- Encourage creative and high quality designs for outdoor lighting fixtures and standards that reflect the character of the local context.
- Discourage lighting that reduces the viability of astronomical observation facilities within Arizona.
- Allow for lighting systems that support active pedestrian uses and contribute to public safety.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

## LAND USE

**Goal 4. Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.**

- Allow for a diversity of residential uses and supporting services that provide for the needs of the community.
- Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

This boutique apartment project will include 39 rental units, with a mix of One- and Two-Bedroom units of varying sizes, providing an attractive new housing option for the community.

**Goal 5. Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.**

- Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.
- Encourage non-motorized (pedestrian and bicycle) access/circulation within and to mixed-use centers to reduce reliance on the automobile.
- Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips (pedestrian and cycling and transit) where environmentally and physically feasible.

The Site is located within close proximity (walking distance) to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property.

**Goal 6. Promote land use patterns that conserve resources such as land, clean air, water, and energy and serve all people within the community.**

- Encourage a variety of compatible mixed-use land uses throughout the city in appropriate locations allowing people to live, work, play and shop in the same general area.
- Protect and revitalize established areas/neighborhoods by promoting new development and the adaptive reuse of existing community resources that re-energize an area.

The location of the property provides connectivity to the established retail, restaurant, services and huge employment base in the nearby area. 75on2nd will promote an integrated, sustainable character for the area with a strong live, work and play component. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

**Goal 9. Provide a broad variety of land uses that create a high level of synergy within mixed-use neighborhoods.**

- Incorporate a diverse range of residential and non-residential uses and densities within mixed-use neighborhoods.
- Encourage redevelopment that invigorates an area while also respecting the character of adjacent neighborhoods.
- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips and support alternative modes of mobility.

72on2nd incorporates a range of residential uses within a mixed-use neighborhood. The compact, high-quality infill redevelopment will invigorate the area, while being respectful to surrounding neighbors. The close proximity to a great variety of commercial, retail and service activities within the area encourages residents to walk and bike, reducing unnecessary automobile trips.

## ECONOMIC VITALITY

### **Goal 7. Sustain the long-term economic wellbeing of the city and its citizens through redevelopment and revitalization efforts.**

- Encourage and support the renovation and reuse of underutilized or vacant parcels/buildings/shopping centers.
- Enhance the experience for visitors who evaluate the quality of their experience through their visual impressions of the community by revitalizing the mature built environment of businesses and neighborhoods.

The existing underutilized site contains three small office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development. In addition to providing a much more effective and appropriate use for the area, 75on2nd will be a huge visual improvement that will continue to revitalize.

## HOUSING

### **Goal 4. Encourage housing development that provides for "live, work, and play" relationships as a way to reduce traffic congestion, encourage economic expansion and increase overall quality of life for our residents.**

- Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live-work choices to a broader economic range of households.
- Encourage housing linked/connected to the city's mobility system.

The site is located in close proximity to a huge employment base that includes two of Scottsdale's largest employers, the City of Scottsdale, and HonorHealth. Public bus and trolley service are available within a short walking distance. The site is also just a short distance from several major arterials and the Loop 101, a regional access way.

## NEIGHBORHOODS

### **Goal 1. Enhance and protect diverse neighborhoods so they are safe and well maintained.**

- Provide for a range of housing opportunities.

75on2nd includes 39 rental units of varying sizes in a boutique environment, providing unique new housing option for the community.

### **Goal 3. Sustain the long-term economic well being of the city and its citizens through redevelopment and neighborhood preservation and revitalization efforts.**

- Use redevelopment and revitalization techniques to positively impact the visual and aesthetic impressions that tourists, citizens, and the businesses have of the overall city.
- Maintain and create opportunities for quality housing for all citizens. This is a crucial component of Scottsdale's local economy.

75on2nd is a redevelopment of an under-utilized blighted parcel in a prime downtown location. The scale and quality of the proposed project will be a huge visual improvement and help to revitalize the area. 75on2nd provides for high quality rental housing, and includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size, separate laundry/powder rooms, and large 8' deep balconies. In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size

**Goal 5. Promote and encourage context-appropriate new development in established areas of the community.**

- Encourage new development efforts toward existing developed areas in Scottsdale.
- Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.
- Promote existing developed areas of the community as opportune economic development infill sites.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. Massing and height are sensitive to adjacent properties. Color and materials have also been carefully selected to complement the existing context.

**GROWTH AREAS**

**Goal 1. Direct and sustain growth and expansion in areas of the city that can support a concentration of a variety of uses and are particularly suitable for multimodal transportation and infrastructure expansion and improvements.**

- Promote the coordination of infrastructure development and upgrade with opportunities for infill development and development activity where it will encourage a mix of uses and support pedestrian and transit activity.

The property is located in an established area with all major infrastructure already in place than can easily support a higher concentration of residential uses. The property is also close to many multi-modal transportation networks, including arterials, freeways, bus and trolley routes.

**COMMUNITY MOBILITY**

**Goal 8. Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.**

- Encourage the development or redevelopment of areas that support a balance of live, work and play land use relationships and alternative modes of transportation that reduce the reliance on the automobile.

75on2nd is ideally located within close proximity to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment with a strong live, work and play component. The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.



## Old Town Scottsdale Character Area Plan

The Old Town Scottsdale Plan establishes the vision for Old Town Scottsdale.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Character Area Plan.

### LAND USE

#### **GOAL LU 3**

CONTINUE THE USE OF DEVELOPMENT TYPES TO GUIDE THE PHYSICAL AND BUILT FORM OF OLD TOWN SCOTTSDALE.

##### **Policy LU 3.2**

Support higher scale Type 2 development in the majority of the Multiple Use areas surrounding the Downtown Core.

This project is located in The Downtown Civic Center District and Designated as a Type 2 Development Type.

#### **GOAL LU 5**

PROMOTE DIVERSITY IN OLD TOWN HOUSING OPTIONS.

##### **Policy LU 5.1**

Develop a variety of housing types such as apartments, condominiums, lofts, townhomes, patio homes, and live/work units.

##### **Policy LU 5.2**

Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

72on2nd is a unique, high quality boutique apartment project on a small infill site.

#### **GOAL LU 6**

ENCOURAGE A MIX OF LAND USES TO SUPPORT A WALKABLE AND SUSTAINABLE DOWNTOWN.

##### **Policy LU 6.1**

Encourage development to provide a mix of uses and active street frontages, particularly in the Downtown Core, along Scottsdale Road, adjacent to primary open space areas and within the more active Old Town districts. For development in peripheral areas such as the Garden District, the Scottsdale Arts District and portions of the Fifth Avenue District west of Goldwater Boulevard, and the Civic Center and Brown and Stetson Districts east of 75th Street that may not be able to support a mix of uses with active frontages, encourage features that create visual interest at the pedestrian level.

The project location does not support extended ground floor mixed-uses and related street activities. Instead, the street side perimeter incorporates outdoor patios, decks and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction and creates visual interest at the pedestrian level.



## **CHARACTER & DESIGN**

### **GOAL CD 1**

**STRENGTHEN AND ENHANCE OLD TOWN DISTRICT CHARACTER WITH CONTEXTUALLY COMPATIBLE DEVELOPMENT.**

#### **Policy CD 1.1**

Incorporate the distinctive qualities and character of the surrounding, and/or evolving district context into building and site design.

#### **Policy CD 1.2**

Encourage public and private development to establish new urban design and architectural character in areas where downtown development patterns are fragmented or are in transition.

#### **Policy CD 1.5**

Maintain the pedestrian oriented small town character and human scale in the Downtown Core. Incorporate similar elements of pedestrian character and scale at the street level in all downtown districts.

This area of downtown east of 75<sup>th</sup> Street is in the early phases of redevelopment and revitalization, transitioning from older low scale/density office residential to the newer designated Type 2 development area. While being considerate of the existing context and adjacent buildings, 75on2nd will continue to establish the architectural character for the area started by recent redevelopment projects, while also creating a unique identity.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Sculptural site walls that also serve as bench seating are provided along both streets. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### **GOAL CD 3**

**OLD TOWN DEVELOPMENT SHOULD RESPECT AND RESPOND TO THE UNIQUE CLIMATE AND CONTEXT OF THE SOUTHWESTERN SONORAN DESERT.**

#### **Policy CD 3.1**

Promote downtown urban and architectural design that is influenced by, and responds to, the character and climate of the Sonoran Desert.

#### **Policy CD 3.2**

Enhance outdoor pedestrian comfort through the creation of microclimates that incorporate a variety of shade, trees, and other drought tolerant landscape features to create passively cooler temperatures.

#### **Policy CD 3.3**

Pursue building and development strategies that reduce the heat island effect within downtown.

#### **Policy CD 3.4**

Public realm and site design should incorporate techniques for efficient water use. Water, as a landscape element or design feature, should be used judiciously and placed in locations with high pedestrian activity

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. In addition, asphalt and parking lots have been eliminated from the site and placed inside the building, reducing the heat island effect.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

A small water feature is incorporated into the pool area, close to the street where it can be heard by pedestrians passing by.

#### **GOAL CD 4**

CREATE A DYNAMIC AND CONNECTED WALKABLE DOWNTOWN THROUGH URBAN AND ARCHITECTURAL DESIGN.

##### **Policy CD 4.1**

Encourage urban and architectural design that is human scale and provides pedestrian comfort.

##### **Policy CD 4.3**

Improve the pedestrian experience on arterial roadways with features such as increased and consistent sidewalk width, shade, trees, on-street parking, landscape buffers, landscape medians, and pedestrian refuge islands.

The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns. While adjacent streets are smaller local streets, they are important pedestrian passageways through the area. The 2<sup>nd</sup> street sidewalk was recently redone and widened along with new on-street parking. This project enhances those improvements by removing the existing driveway and adding additional on-street parking. The narrow sidewalk along 75<sup>th</sup> street will be removed, and a wider sidewalk installed detached from the curb. Both streets will get large shade trees and integrated pedestrian seating areas.

#### **GOAL CD 5**

ESTABLISH AN INVITING AND INTERCONNECTED DOWNTOWN PUBLIC REALM AND OPEN SPACE NETWORK THAT IS USEFUL, SAFE, INTERESTING, WALKABLE, AND COMFORTABLE TO ALL.

##### **Policy CD 5.2**

Private and public development should contribute to the creation of new, and/or the expansion of existing, public realm and open space areas throughout Old Town.

##### **Policy CD 5.3**

Provide a variety of public realm and open space areas that accommodate multiple activities and special events for downtown residents, visitors and workers of all ages.

The proposed sidewalk and landscape improvements along both street frontages, as discussed above (Goal CD4) and below (Goal CD6) will significantly contribute to this goal.

Open space activity areas for residents and their guests are provided along the 2<sup>nd</sup> Street frontage, where there are visible and interactive with the public realm.

## **GOAL CD 6**

CREATE SAFE, COMFORTABLE, AND INTERESTING STREET SPACES.

### **Policy CD 6.1**

Create a unified public realm experience through the design of downtown streets, building setback areas, and building frontages.

### **Policy CD 6.2**

Connect downtown street spaces with other pedestrian spaces and linkages.

### **Policy CD 6.3**

Streetscapes should provide continuity for the pedestrian across different developments along the same street. This continuity can be established through the provision of consistent landscape improvements, street tree themes, shade elements, decorative paving, street furniture, public art, and other integrated infrastructure elements.

Building setbacks along the street frontage are guided by the Downtown Ordinance, and consistent with surrounding properties, new and old.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. This is consistent with the recent sidewalk improvements along Main Street Place to the North. Landscaping and hardscape improvements along both streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street,

## **GOAL CD 7**

INCORPORATE A REGIONAL LANDSCAPE PALETTE THAT COMPLEMENTS THE URBAN AND PEDESTRIAN CHARACTER OF OLD TOWN.

### **Policy CD 7.1**

Old Town open space and landscape elements should project a desert oasis character, providing an abundance of shade, color, varied textures and forms.

### **Policy CD 7.2**

Landscape materials should complement the built environment, land uses, and other downtown activities. Careful selection of downtown plant materials should take into account attributes such as scale, density, placement, arrangement, and maintenance requirements.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas. They also promote a sustainable desert oasis planting theme to match the surrounding character.

The native plant palette selected promotes a more natural landscape requiring minimal maintenance requirements to keep the landscape more natural & healthy.

## **GOAL CD 8**

INTEGRALLY DESIGN LIGHTING INTO THE BUILT ENVIRONMENT.

### **Policy CD 8.1**

Achieve a balance between ambient light levels and designated lighting needs to ensure safe lighting levels while reducing light pollution and glare.

### **Policy CD 8.2**

Encourage lighting that is energy efficient and designed to serve both pedestrian and vehicular safety in public and private spaces.

**Policy CD 8.3**

Use lighting to provide a safe and inviting nighttime environment for residents, businesses, visitors, and nighttime special events and activities.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

**GOAL CD 9**

IMPLEMENT HIGH QUALITY URBAN AND ARCHITECTURAL DESIGN IN OLD TOWN.

**Policy CD 9.2**

Incorporate the *Scottsdale Sensitive Design Principles* and the *Old Town Urban Design and Architectural Guidelines* in all development.

**Policy CD 9.3**

Achieve high quality urban and architectural design through the development review process.

75on2nd incorporates many of the Sensitive Design Principals and Urban Design Guidelines as detailed in Section IV and V of this application.

Concurrent with this Re-Zoning we are requesting Development Review Board Approval of the proposed project. Refer to discussion under Development Review Board Criteria in Sec. VI below.

**GOAL CD 10**

INCORPORATE SUSTAINABLE BUILDING PRACTICES IN OLD TOWN DEVELOPMENT.

**Policy CD 10.2**

Incorporate sustainable planning, design and building techniques into downtown development and use durable indigenous materials that will endure over time, to minimize environmental and maintenance impacts.

**Policy CD 10.3**

Encourage green building and biophilic design strategies such as building orientation, passive solar and cooling techniques, natural daylighting, and the integration of regional plant materials as part of downtown development.

**Policy CD 10.4**

Promote the use of energy efficient systems, construction methods, and renewable energy sources in downtown development.

**Policy CD 10.6**

Use existing urban resources, such as infrastructure systems, underutilized sites, buildings, and transportation networks to minimize the use of new resources.

**Policy CD 10.8**

Develop and maintain sustainable solid waste collection, recycling, and disposal delivery systems downtown. Encourage the use of shared waste containers and compactors among businesses to reduce the number of containers in downtown and their negative aesthetic, olfactive and circulation impacts.

75on2nd incorporates sustainable planning and design through the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,

75on2nd incorporates green building strategies through the use of building orientation, solar shading, landscaping, recessed and covered balconies, and large overhangs. The development anticipates achieving a high level of sustainability, incorporating highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances.

75on2nd is located on an underutilized site in a prime location with all utility and transportation infrastructure in place. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale.

Solid waste collection is provided with shared containers located out of sight off the existing alley.

## **GOAL CD 11**

INFRASTRUCTURE DESIGN SHOULD POSITIVELY CONTRIBUTE TO OLD TOWN IDENTITY.

### **Policy CD 11.2**

Develop infrastructure improvements that positively impact the aesthetic and mobility aspects of the pedestrian environment.

### **Policy CD 11.3**

Underground overhead utilities, when physically and economically feasible, to reduce the negative visual impacts in the downtown.

### **Policy CD 11.4**

Minimize the aesthetic and circulation impacts of power and communication system equipment located in rights-of-way.

A driveway currently serving the existing office building from 2nd street will be removed and replaced with a new sidewalk segment, associated landscape improvements and on street parallel parking, improving the sidewalk aesthetic and pedestrian experience along the street.

Any existing overhead utilities services within the property ROW will be removed and all new utility services will be placed underground. All new power and communication equipment will be located off the existing alley, out of public view.

## **ECONOMIC VITALITY**

## **GOAL EV 2**

PROMOTE PRIVATE INVESTMENT IN, AND ATTRACT NEW DEVELOPMENT TO, OLD TOWN.

### **Policy EV 2.1**

Encourage investment in residential and commercial development that ensures Old Town's economic competitiveness regionally and nationally.

### **Policy EV 2.2**

Promote a mix of daytime/nighttime activities year-round through residential and commercial development in Old Town.

### **Policy EV 2.8**

Recognize that talent is a critical component of business location decisions and enhance Old Town's quality of life amenities and housing choices, to appeal to a skilled workforce.

75on2nd is a unique high-quality boutique apartment project that provides an attractive alternative to the typical large-scale apartment complex, that will attract young professionals to the area. New residents will support nearby services 24/7 and help energize the surrounding area.

## Downtown Scottsdale – Urban Design & Architectural Guidelines

The primary purpose of these Guidelines is to influence the general character of new projects so Downtown will preserve its present qualities as it develops.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Guidelines

### A. SITE DEVELOPMENT

#### A1. RELATIONSHIP OF NEW TO EXISTING DEVELOPMENT

- All development proposals should show evidence of coordination with the site plan, arrangement of building forms and landscape design and facade patterns of neighboring properties. New buildings must coexist with their neighbors. While a firm rule is not possible, every new proposal must demonstrate it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between new and old

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner building element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls.

#### A4. PARKING FACILITIES

- Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.
- Parking access from alleys and side streets is desired. The number of entrances to parking facilities from other streets, especially major arterials, should be kept to a minimum.

All of the required parking will be provided in a ground level parking garage accessed from the existing alley. There is no driveway entrance from either street, and the parking garage is screened from the street by the residential amenity areas provided.

#### A5. BUILDING EQUIPMENT AND SERVICES

- Locate service and loading zones to minimize visibility from public streets.
- On Downtown building sites served by the alley system, locate all serve-delivery entrances, loading docks and refuse collection facilities in the alley area.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### A8. THE CONTINUITY OF STREET SPACES

- Buildings should create consistent street setback patterns by locating a maximum amount of their front elevation on the setback line.
- The preferred building-street relationship is to place buildings parallel to the street.

#### Corner Buildings

Corner buildings should make a strong tie to the building lines of each street.

The building is placed parallel to both streets and located at the minimum or prevailing setback in conformance with the Scottsdale Zoning Ordinance for Downtown. A strong corner element is provided emphasizing the main building entry and ground floor office use.

#### **A9. THE BUILDING SETBACK ZONE**

- The building setback zone should be developed as a "patio" landscape designed primarily for pedestrian activity and enjoyment.
- The planting plan along street edges should be linear and rhythmic with occasional contrasts and accents.
- Trees scaled and located to create shade for pedestrians and for appreciation by passing motorists.

The building setback zone incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. Landscaping along both streets will continue the linear and rhythmic theme established by The Clayton House across the street to the South. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods.

#### **B. BUILDING FORM**

##### **B1. REDUCTION OF APPARENT SIZE AND BULK**

Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Large or long continuous wall planes should be avoided. As a general principle, building surfaces over two stories high or 50 feet in length should be relieved with a change of wall plane that provides strong shadow and visual interest.

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

##### **B2. COMPOSITION OF RECESSES AND PROJECTIONS**

Recesses and projections are encouraged to divide horizontal planes of the building into smaller-scale elements and to produce strong areas of shade and shadow.

- Recesses may be used to define courtyards, entries or other outdoor spaces along the perimeter of the building. Recessed courtyard to divide building mass into smaller parts
- Recessed balconies, porches and loggias create a sense of depth in the building wall, contrasting surfaces exposed to the sun with those in the shadow. The strong, alternating light and dark pattern is a distinctive quality of regional architecture in the Southwest.
- Projections may be used to emphasize important architectural elements such as entrances, bays, stair towers, balconies and verandas.

The center 4 story portion of the building is recessed to provide for the outdoor pool amenity area. Large balconies are both recessed and extruded from the building mass, creating an interplay of light and shadow, that is further enhanced by change in color and materials. The stair towers anchor the building components and break up the overall mass by forming a strong vertical element, in an otherwise horizontal composition.



## **C. ARCHITECTURAL CHARACTER**

### **C1. PROPORTION AND SCALE**

- Building proportions with horizontal emphasis are generally desired.
- It is desirable that the spacing of elements in facades be varied rather than repetitive. Avoid repetitive proportions. Varied proportions encouraged.

The large balconies create a horizontal emphasis to the building proportions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components of varied proportions.

### **C2. BUILDING MATERIALS**

- Restraint should be used in the number of different building materials selected. Simplicity of palette is desired.
- Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.

### **C3. COLOR AND TEXTURE**

- Building colors should emphasize light and muted colors, with light earth tones dominant.
- Color selection should show evidence of coordination with the predominant use of color on the street and district of the new project.

Color and materials have been carefully selected to complement the architectural design and the existing context. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls.

### **C3. ARCHITECTURAL DETAIL - BALCONIES**

Balconies provide space for outdoor activity and are often helpful to give scale to a building wall. They provide an element of human size which can effectively contrast with the solid, massive character of a wall.

Large deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units, that are sure to be frequently utilized by residents.

## **D. LANDSCAPE CHARACTER**

### **D1. STREETS**

- Plants, street furniture, paving, and other landscape elements should be organized along streets to create a unified civic appearance. The materials and layout of these elements should conform to City standards.
- A safe comfortable pedestrian environment should be created as a result of creative street frontage design. Give primary consideration to provision of ample shade, special paving, and buffer between the street and walking space.

The landscaping for the development will be in conformance with city standards and approved palette. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.



## Scottsdale's Sensitive Design Principles

The proposed development will embrace and implement the following Sensitive Design Principles, that improve and reinforce the quality of design in the community:

1. The design character of any area should be enhanced and strengthened by new development.  
The design compliments and significantly enhances the existing urban fabric of the surrounding area. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.
5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.  
The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. The proposed development will promote an integrated, sustainable character for the area with a strong live, work and play component.
6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.  
The site is located within close proximity to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property. The design encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.
7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.  
The design provides elements that cater to the pedestrian through the use of building character, connectivity, landscaping, hardscape, and lighting. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.
8. Buildings should be designed with a logical hierarchy of masses:
  - To control the visual impact of a building's height and size  
The building mass is designed with a hierarchy of one-, three- and four-story building components. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor
9. The design of the built environment should respond to the desert environment:
  - Interior spaces should be extended into the outdoors both physically and visually when appropriate  
Large and deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units.

- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities

Color and materials have been carefully selected to complement the architectural design and the existing context, using a variety of materials and textures. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls. By principal the design is void of all arbitrary applied ornamentation, striving towards simplicity, honesty and clarity of form and beauty. Protruding shadow blocks are used to create sculptural patterns that add visual interest at the pedestrian level.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features. The building and unit design will incorporate highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances

Sustainable building practices include the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,

13. The extent and quality of lighting should be integrally designed as part of the built environment.

Exterior lighting has been carefully integrated into the architecture, providing ambiance, identity and safety to residents and visitors alike.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

The main project identification signs compliment and are an integral part of the architectural design.

## Development Review Board Criteria

### **Ordinances, Master Plans, General Plan, and Standards**

Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.

#### **Scottsdale General Plan**

The proposed development will comply with the 2001 General Plan as previously outlined in Section II.

#### **Old Town Scottsdale Character Area Plan**

The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III.

#### **Scottsdale Zoning Ordinance**

The proposed development will comply with the development standards of the D/MU-2 zoning designation.

#### **Scottsdale Design Standards and Policies Manual**

The proposed development will comply with all relevant sections of the Scottsdale Design Standards and Policies Manual

#### **Downtown Plan Urban Design & Architectural Guidelines**

The proposed development will comply with the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

#### **Scottsdale Sensitive Design Principals**

The proposed development will comply with the Scottsdale Sensitive Design Principals as previously outlined in Section V.

### **Architectural Character, Landscaping, and Site Design**

Explain how the proposed development has been designed so that it:

- Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls

- Avoids excessive variety and monotonous repetition;

By principal of design, the building is void of all arbitrary ornamentation, striving for simplicity of style and honest expression of materials and building functions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components, forming a balanced composition that expresses the form and functionality of its components. The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns.

- Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;  
The proposed development will comply with the Scottsdale Sensitive Design Principals as previously outlined in Section V.

### **Ingress, Egress, On-Site Circulation, Parking, and Pedestrians**

Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.

All of the required parking will be provided in a ground level parking garage accessed only from the existing alley. There is no driveway entrance from either street, providing a safe contiguous sidewalk along the entire street frontage.

### **Mechanical and Utility Equipment**

Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

### **Downtown Area**

If the development proposal is within the Downtown Area, explain how the proposed development:

- Demonstrates conformance with the Downtown Plan Urban Design & Architectural Guidelines;  
The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III, as well as the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

- Incorporates urban and architectural design that address human scale and incorporates a pedestrian-oriented environment at the street level;

The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. A large open deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Large trees provide shade along the public sidewalks, and built in site walls serve as seating areas.

- Reflects contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

- Reflects the design features and materials of the urban neighborhoods in which the development is located; and
- Integrates building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. As previously described, the building mass, height, materials and colors have been carefully selected to complement the existing context, as well as to provide a unique identity for the project.

## Conclusion

In summary, this request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current zoning would allow for the proposed density of the proposed project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

This proposed project will include 39 living units, in a 3 and 4 story building with associated amenity areas included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

The proposed development achieves a wide range of goals including revitalizing an underutilized property, integrating high-quality, high-design, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding land uses, and contribute to the live/work/play land use balance promoted by the Old Town Scottsdale Character Area Plan.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

The surrounding restaurant, retail, service, and employment core will benefit from this development, and provide an attraction for future residents.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

The development team is committed to delivering a sustainable development that will enrich and revitalize the character and success of the surrounding area and of the City of Scottsdale in general.

This application includes a range of exhibit including the site plan, elevations, perspective views, and landscape plans that demonstrate the character and high-level of design proposed for this site.



# Routing Sheet

1st Submittal

or

**Resubmittal** (← circle one)  
(Stip Review Added - Except AB)

**2-ZN-2019**  
**2/14/19**

Public Hearing Case Type (circle one):

AB AN BA DR GP HE HP II IP PE PP TA UP ZN Other:

Administrative Case Type (circle one):

HP MD MN MS SA WM Other:

Coordinator: CLUFF Pre-App #: 690-PA-2018 Date Submitted: 2/14/19 PC/CC Track: \_\_\_\_\_ BOA Track: \_\_\_\_\_  
Admin Staff: \_\_\_\_\_ Case #: 2-ZN-2019 Comments Due: 3/11/19 DRB Track: \_\_\_\_\_ Other: \_\_\_\_\_

## Review Team:

(For additional documents, please view the case file.)

		Design Review (Steve Venker)	Engineering Group (Eliana Hayes)	Transportation Eng (Phil Kercher)	Transportation Pln (Greg Davies)	Fire Group (Scott Stanek)	Drainage (Richard Anderson)	GIS (Tanya H.)	Airport (Sarah Ferrara)	Maps (Eliana Hayes)	Land Survey (Dwayne Haught)	Archaeological (Steve Venker)	Long Range Pln (Taylor Reynolds)	Water Resources name:	Other:
<input type="checkbox"/> Digital File	Narrative	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> x2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Digital File	Site Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> x2	<input type="checkbox"/>	<input checked="" type="checkbox"/> x2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Digital File	Alta Survey		<input type="checkbox"/>												<input type="checkbox"/>
<input type="checkbox"/> Digital File	Grading & Drainage Plan		<input type="checkbox"/>				<input type="checkbox"/>								<input type="checkbox"/>
<input type="checkbox"/> Digital File	Context Aerial Site Plan Overlay		<input type="checkbox"/>			<input type="checkbox"/>									<input type="checkbox"/>
<input type="checkbox"/> Digital File	Phasing Plan		<input type="checkbox"/>			<input type="checkbox"/>									<input type="checkbox"/>
<input type="checkbox"/> Digital File	Site Details		<input type="checkbox"/>			<input type="checkbox"/>									<input type="checkbox"/>
<input type="checkbox"/> Digital File	Pedestrian & Circulation		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>										<input type="checkbox"/>
<input type="checkbox"/> Digital File	Bike & Trails Path		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>										<input type="checkbox"/>
<input type="checkbox"/> Digital File	Trip gen., Traffic Study, TIMA		<input type="checkbox"/>	<input checked="" type="checkbox"/> x2	<input type="checkbox"/>										<input type="checkbox"/>
<input checked="" type="checkbox"/> Digital File	Water and/or Wastewater BOD's		<input type="checkbox"/>			<input type="checkbox"/>								<input checked="" type="checkbox"/> x2	<input type="checkbox"/>
<input type="checkbox"/> Digital File	Drainage Report						<input checked="" type="checkbox"/> x2								<input type="checkbox"/>
<input type="checkbox"/> Digital File	Geotech Report		<input type="checkbox"/>												<input type="checkbox"/>
<input type="checkbox"/> Digital File	Archaeological Report											<input type="checkbox"/>			<input type="checkbox"/>
<input type="checkbox"/> Digital File	Draft Amended Dev Standards		<input type="checkbox"/>												<input type="checkbox"/>
<input type="checkbox"/> Digital File	Proposed CC&R's		<input type="checkbox"/>			<input type="checkbox"/>									<input type="checkbox"/>
<input type="checkbox"/> Digital File	Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

# Name

WELNTRAUB ADAM S  
 SCHAFFER ROBERT M  
 DUMB DOG PROPERTIES LLC  
 OUR LADY OF PERPETUAL HELP ROMAN CATHOLIC PAR  
 SIMONSON BUILDINGS INC  
 SCOTTSDALE UNIFIED SCHOOL DISTRICT NO 48  
 JORDAN JOSEPH JR TR  
 MCGAREY ROBERT B/AMES S TR  
 GENGHIS EXPRESS LLC  
 SARLI STEPHEN  
 SPATTI RAYMOND J/JOAN C TR  
 SCOTTSDALE HOLDINGS LLC  
 FIRST AND 75TH LLC  
 SCOTTSDALE HEALTHCARE HOSPITALS  
 LOUISE ANN LAMB TRUST  
 SCOTTSDALE CITY OF  
 SHED SCOTTSDALE LLC  
 TRANE JUDITH  
 STR VENTURES LLC  
 STOUT CAROLYN  
 PRATT DOROTHY JEAN TR  
 SECOND & MILLER LLC  
 75TH & 2ND LLC  
 MILLER CIVIC CENTER PROPERTY OWNERS ASSOC  
 CREIGHAN JOSEPH  
 RIPARIAN CARE LLC  
 ABCO MAIN ST LLC  
 NCN PLACE LLC  
 HOME YIELD CSL LLC  
 MORIC MATTHEW M  
 JAMES A SPIZZO 2016 REVOCABLE TRUST ET AL  
 HOPKINS FRED B/CORRINNE B  
 TULIP LIVING TRUST  
 YOUNGJOHN JAMES ROBERT JR  
 S & S CIVIC CENTER PROPERTY  
 MCDONNELL NOEL/FREND MARY M  
 ON SUNSET TRUST  
 805 CAPITAL LLC  
 B B EWING PROPERTY MANAGEMENT LLC  
 CITY OF SCOTTSDALE  
 THOMPSON FREDERICK J  
 BOSCH BERKLEY J  
 ANNE E BADE TRUST  
 KAHN MANSUR/AYESHA  
 MCDONOUGH KATHRYN LYN/ANN M/RICHARD/DORA J/KE  
 YATES RAY ALLEN/MILLER DIANE K

# Address

410 W 25TH ST APT 4A  
 3437 VAN AMBERG RD  
 PO BOX 386  
 400 E MONROE  
 3402 N 36TH ST  
 3811 N 44TH ST  
 6029 E LINDEN LN  
 5930 E ORANGE BLOSSOM LN  
 1236 E MYRTLE AVE  
 4531 E RAMUDA DR  
 629 W MCNAIR ST  
 8840 E CHAPARRAL RD SUITE 185  
 7525 E 6TH AVE  
 3604 WELLS FARGO STE C  
 7608 E 4TH ST  
 7447 E INDIAN SCHOOL RD STE 205  
 7340 E MAIN ST SUITE 200  
 7516 E 1ST ST  
 4021 N 75TH ST  
 7528 E 1ST ST  
 7610 E 3RD ST  
 7550 E 2ND ST  
 7340 E MAIN ST STE 200  
 3666 NORTH MILLER RD STE 113  
 7601 E 2ND ST UNIT 12  
 3666 N MILLER RD STE 113  
 7550 E MAIN ST  
 7579 E MAIN ST STE500  
 4021 N 75TH ST SUITE 104  
 3615 N MILLER RD  
 7502 E MAIN ST UNIT 2001  
 7502 E MAIN ST UNIT 3002  
 7502 E MAIN ST UNIT 4002  
 7533 E 1ST ST  
 7503 E 1ST ST  
 7526 E 2ND ST  
 7526 E MCNIGHT  
 7520 E MCKNIGHT AVE  
 7522 E 1ST ST  
 3939 CIVIC CENTER PLAZA  
 3666 N MILLER RD STE 107  
 7601 E 2ND ST NO 14  
 7628 E 3RD ST  
 6301 E ALTA HACIENDA DR  
 7616 E 3RD ST  
 7622 E 3RD ST

SECRET SUITES LLC  
BONVIE 18 LLC  
NCN PLACE LLC  
KIRPACH JEFFREY L  
OLSON RONI K  
EDSALL ALLAN  
FARMER WENDY LOU KENDALL/RICHARD LEE  
THOMPSON SARA M  
BRICHACEK BETTY L  
HILL COLIN  
WOLFE WILLIAM C JR  
WENDAHL THOMAS P/REBECCA V  
GMSCS LLC  
SCOTTSDALE CITY OF LEASE  
KURTZ JOHN P / SMITH RENNE ANN  
BREGMAN & BURT REALTY LLC  
MTTK COMPANY LLC  
STR VENTURES LLC  
BATTAGLIA CHRISTINE  
GREGORY & FRANKLIN INVESTMENTS LLC  
BRISTOL 5 LLC  
NOLTE GROUP L L C  
SPNN LLC  
WOOD CHARLES S III/SUSAN A  
KERL WOLFGANG/BETTINA  
KULA THOMAS/SUSAN P  
SI PROPERTY II LLC  
POWELL MARGARET  
MILLER CIVIC CENTER LLC  
STORK JEFFREY M  
MAIN STREET PLACE LLC  
DRENICA LLC  
TIDES AT OLD TOWN LLC  
RED ROX PARTNERS  
SHAW FAMILY LIVING TRUST  
SMITH GREG A/SANDRA L  
FEDLANDS HOLDINGS LLC  
KRISTJAN SIGURDSSON  
TOM FRENKEL

Ali Fakih  
Annette Petrillo  
Audry Villaverde  
Bob Griffith  
Carla

7601 E 2ND ST  
7601 E 2ND ST UNIT 19  
7579 E MAIN ST STE 500  
7601 E 2ND ST UNIT 4  
7601 E 2ND ST 9  
7601 E 2ND ST UNIT 10  
7615 E 3RD ST  
7614 E FOURTH ST  
7601 E 2ND ST UNIT 1  
7601 E 2ND ST UNIT 5  
7601 E 2ND ST UNIT 13  
7601 E 2ND ST UNIT 27  
3640 N MILLER RD  
3939 CIVIC CENTER  
7602 E 4TH ST  
7509 E 1ST ST  
3666 N MILLER RD SUITE 101  
4021 N 75TH ST STE 101  
7601 E 2ND ST UNIT 2  
7601 E 2ND ST UNIT 17  
PO BOX 2944  
11828 N 67TH ST  
7381 E WOODSAGE LN  
9202 N 96TH PL  
7718 N VIA CAMELLO DEL SUR  
10769 E TERRA DR  
11445 E VIA LINDA NO 2516  
7601 E CHARTER OAK RD  
14201 N HAYDEN RD SUITE B4  
9820 E BLUE SKY DR  
120 S ASH AVE  
20875 N 88TH LN  
9027 ALTO CEDRO DR  
16130 VENTURA BLVD STE 420  
2663 FILBERT ST  
10015 RIVER RANCH CT  
1503 - 1560 HOMER MEWS

City of Scottsdale Planning  
Commission

Withey Morris, PLC



Chris Schaffner

Christian C. Serena  
Community Development Director

Constance Laub  
Dan Sommer  
David G. Gulino  
Solange Whitehead  
Director  
Dr. Sonnie Kirtley  
Ed Toschik, President  
Edwin Bull  
Eric Gold  
Guy Phillips  
Guy Phillips  
Howard Myers  
Jim Funk  
Jim Haxby  
Jim Lane, Mayor  
John Berry/Michele Hammond  
John Washington  
Juli A. Eckmann  
Kathy Littlefield

Kelsey Young  
  
Kevin D. Bollinger  
Kirste Kowalsky  
  
Larry S. Kush  
Leon Spiro  
Linda Milhaven  
Linda Whitehead  
Lori Haye  
Marc Levy  
Maricopa County Superintendent of Schools  
Michael Leary  
Mike McNeal, Supervisor  
Patti Badenoch  
  
Paul Alessio - Chair

City of Scottsdale Planning  
Commission  
Town of Paradise Valley

City of Scottsdale City Council  
Arizona Department of Water Resources  
COGS

Burch & Cracchiolo PA

City of Scottsdale City Council  
Gainey Ranch Community Association

City of Scottsdale  
Berry Riddell, LLC

City of Scottsdale City Council  
City of Scottsdale Planning  
Commission  
City of Scottsdale Planning  
Commission  
Withey Morris, PLC  
City of Scottsdale Planning  
Commission

City of Scottsdale City Council

Commercial Land Development Consultants  
AT&T

City of Scottsdale Planning  
Commission

Planning & Development Department  
Planning & Development Director  
Planning & Engineering Section Manager  
Planning and Zoning  
Planning Department  
Planning Department

Prescott Smith  
Project Management  
Randall P. Brown  
Marissa Moore, AICP  
Sherry Wagner/Right-of-Way Technician, SR.  
Superintendent  
Superintendent  
Suzanne Klapp  
Vickie Falen  
Virginia Korte  
W.J. Jim Lane - Mayor  
Wade Tinant

Maricopa County Planning & Development  
City of Phoenix  
Arizona State Land Department  
Town of Carefree  
Town of Cave Creek  
SRP-MIC

City of Scottsdale Planning  
Commission  
Arizona Department of Transportation  
Spring Creek Development  
Town of Fountain Hills  
Mail Station PAB348  
Cave Creek Unified School District  
Scottsdale Unified School District  
City of Scottsdale City Council

City of Scottsdale City Council  
City of Scottsdale City Council

Granite Reef Neighborhood Resource  
Gammage & Burnham, PLC  
Southwest Gas Corporation

Withey Morris, PLC  
Paradise Valley Unified School District  
Earl, Curley & Lagarde, P.C.  
Arizona Commerce Authority

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TEMPE	AZ	85281
PEORIA	AZ	85382
BEVERLY HILLS	CA	90210
ENCINO	CA	91436
SAN FRANCISCO	CA	94123
OAKDALE	CA	95361-7635
VANCOUVER	BC	V6Z 00A5
		CANADA

6125 E Indian Sch	SCOTT	AZ	85251
7340 E Main St #	SCOTT	AZ	85251

8280 E. Gelding Drive, Suite 101	Scotts	AZ	85260
1169 E. Clovefield	Gilber	AZ	85298
2525 E. Arizona B	Phoer	AZ	85016
7127 E. Rancho V	Scotts	AZ	85251
3420 N. 78th Stre	Scotts	AZ	85251

7346 E. Sunnyside	Scotts AZ	85260
6929 North Hayden Road, Ste. C4194	Scotts AZ	85250
6401 E Lincoln Dr	Parad AZ	85253
10305 E. Via Linda 103 Ste 345	Scotts AZ	85258
12005 N 84th Str	Scotts AZ	85260
7525 E. Camelback	Scotts AZ	85251
3939 N. Drinkwater	Scotts AZ	85251
1110 W. Washington	Phoenix AZ	85007
8507 East Highland	Scotts AZ	85251-1822
7657 E Mariposa	Scotts AZ	85255
P.O. Box 16882	Phoenix AZ	85011
25499 N. 104th V	Scotts AZ	85255
7131 E. Cholla St.	Scotts AZ	85254
3939 N. Drinkwater	Scotts AZ	85251
6631 E Horned Owl	Scotts AZ	85266
7720 Gainey Ranch	Scotts AZ	85258
7336 E. Sunnyside	Scotts AZ	85260
7666 E. El Rancho	Scotts AZ	85260
6750 E Camelback	Scotts AZ	85251
3518 N Cambers	Scotts AZ	85251
4020 N. Scottsdale	Scotts AZ	85251
3939 N. Drinkwater	Scotts AZ	85251
3331 N. 63rd Street	Scotts AZ	85251
8031 E. Sutton Drive	Scotts AZ	85260
2525 E. Arizona B	Phoenix AZ	85016
7127 E. Rancho Vista Dr. #1001	Scotts AZ	85251
7814 E Oberlin W	Scotts AZ	85266
3939 N. Drinkwater	Scotts AZ	85251
9681 E Chuckwagon	Scotts AZ	85262
P.O. Box 426	Cave (AZ)	85327
10402 E Raintree	Scotts AZ	85255
4041 N. Central A	Phoenix AZ	85012
10278 East Hillery	Scotts AZ	85255
1231 W. University	Mesa AZ	85201
5027 N. 71st Pl	Scotts AZ	85253
7527 E. Tailspin Lane	Scotts AZ	85255

501 N. 44th Stree Phoer AZ	85008
200 West Washin Phoer AZ	85003
1616 W. Adams S Phoer AZ	85007
8 Sundial Circle P Carefr AZ	85377
37622 N Cave Cre Cave ( AZ	85331
10005 E Osborn F Scotts AZ	85256
4350 E.	
Camelback Rd.,	
Suite G-200 Phoer AZ	85018
205 S. 17th Aveni Phoer AZ	85007
7134 E. Stetson D Scotts AZ	85251
16705 E. Avenue Fount AZ	85268
P.O. Box 52025 Phoer AZ	85072-2025
P.O. Box 426 Cave ( AZ	85327
8500 E. Jackrabbi Scotts AZ	85250
3939 N. Drinkwat Scotts AZ	85251
10520 N 117th Pl Scotts AZ	85259
3939 N. Drinkwat Scotts AZ	85251
3939 N. Drinkwat Scotts AZ	85251
4614 E. Running I Cave ( AZ	85331
1700 N Granite R Scotts AZ	85257
2 N. Central Aven Phoer AZ	85004
2200 N. Central A Phoer AZ	85004
2525 E. Arizona	
Biltmore Circle;	
Suite A-212 Phoer AZ	85016
15002 N. 32nd St Phoer AZ	85032
3101 N. Central A Phoer AZ	85012
333 N. Central Av Phoer AZ	85004

ORDINANCE NO. 4420

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SCOTTSDALE, MARICOPA COUNTY, ARIZONA, AMENDING ORDINANCE NO. 455, THE ZONING ORDINANCE OF THE CITY OF SCOTTSDALE, BY AND FOR THE PURPOSE OF CHANGING THE ZONING ON THE "DISTRICT MAP" TO ZONING APPROVED IN CASE NO. 2-ZN-2019 FROM DOWNTOWN/OFFICE RESIDENTIAL TYPE-2, DOWNTOWN OVERLAY (D/OR-2 DO) AND SERVICE RESIDENTIAL DOWNTOWN OVERLAY (S-R DO) ZONING TO DOWNTOWN, DOWNTOWN MULTIPLE USE TYPE-2 DOWNTOWN OVERLAY (D/DMU-2 DO) ZONING ON A +/- 1.1-ACRE SITE LOCATED AT 7502, 7508, 7514, AND 7520 EAST 2ND STREET.

WHEREAS, the Planning Commission held a hearing on August 14, 2019;

WHEREAS, the City Council held a hearing on September 17, 2019; and

WHEREAS, the City Council finds that the proposed development is in substantial harmony with the General Plan of the City of Scottsdale and will be coordinated with existing and planned development; and

WHEREAS, it is now necessary that the comprehensive zoning map of the City of Scottsdale ("District Map") be amended to conform with the decision of the Scottsdale City Council in Case No. 2-ZN-2019.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Scottsdale, as follows:

Section 1. That the "District Map" adopted as a part of the Zoning Ordinance of the City of Scottsdale, showing the zoning district boundaries, is amended by rezoning a +/-1.1-acre site located at 7502, 7508, 7514, and 7520 East 2nd Street and marked as "Site" (the Property) on the map attached as Exhibit 2, incorporated herein by reference, from Downtown/Office Residential Type-2, Downtown Overlay (D/OR-2 DO) and Service Residential Downtown Overlay (S-R DO) zoning to Downtown, Downtown Multiple Use Type-2 Downtown Overlay (D/DMU-2 DO) zoning.

Section 2. That the above rezoning approval is conditioned upon compliance with all stipulations attached hereto as Exhibit 1 and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Scottsdale this \_\_\_\_ of \_\_\_\_, 2019.

ATTEST:

CITY OF SCOTTSDALE, an Arizona  
Municipal Corporation

By: \_\_\_\_\_  
Carolyn Jagger  
City Clerk

By: \_\_\_\_\_  
W.J. "Jim" Lane  
Mayor

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY

By: \_\_\_\_\_  
Joe Padilla, Acting City Attorney  
By:



K & I Homes, LLC

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PRE-APPLICATION      PROJECT NARRATIVE

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August 30, 2018

City of Scottsdale  
Planning Department

RE:     75 on 2nd  
         NEC of 75<sup>th</sup> Street & 2<sup>nd</sup> Street

'75 on 2<sup>nd</sup>' is a proposed boutique multi-family apartment project located on the NEC of 75<sup>th</sup> Street & 2<sup>nd</sup> Street, South of Indian School Road.

This request is for Rezoning (from D/OR-2 DO & S-R DO to D/DMU-2) and Development Review Board of the proposed project.

The 0.57 Acre parcel fronts 75<sup>th</sup> Street for about 133' and 1<sup>st</sup> Street for about 70', and is made up of 3 separate parcels (APN #'s: 130-28-028B / 130-25-029A / 130-25-030A) that will be combined into a single lot. There is an existing service alley on the North side that will serve as main vehicular access to the proposed parking garage. All existing buildings and site improvements will be demolished, including a small portion of the existing office building to the East to the property line.

The proposed 3 story building will include a parking garage at ground level, wrapped with amenity spaces along the street frontage. The upper floors contain 26 one and two bedroom units, ranging in size from 750 to 1,300 SF. All units will have large balconies. The main building entrance will be from 2<sup>nd</sup> Street.

Sincerely,

---

Kristjan Sigurdsson, Principal  
K&I Homes, LLC



# Project Narrative

690-PA-2018 / 2-ZN-2019

Rezoning and Development Review Board for:

## 75 on 2<sup>nd</sup>

### A Boutique Apartment Infill Development

Location: Northeast Corner of 75<sup>th</sup> Street & 2<sup>nd</sup> Street  
7502 N. 2<sup>nd</sup> Street

Request: Rezone from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay)

Prepared for: 75<sup>th</sup> & 2<sup>nd</sup>, LLC  
Tom Frenkel  
7340 E. Main St. #200  
Scottsdale, AZ 85251

Prepared by: K&I Homes, LLC  
Kristjan Sigurdsson, Principal Architect  
6125 E. Indian School Rd., Suite 2005  
Scottsdale, AZ 85251

Date: May 4<sup>th</sup>, 2019 (Rezone 2<sup>nd</sup> / DRB 1<sup>st</sup> Submittal)



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## Overview

### The Request

This request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current **S-R DO** allows for a density of 23 DU/Ac and a height of 26 feet.

The current **D/OR-2 DO** allows for a density of 50Du/Ac and a height of 66 feet.

The current zoning would allow for the proposed density of the project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

The existing site contains three office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development.

The current owner, Clayton Companies ([claytoncompanies.com](http://claytoncompanies.com)) is planning to re-develop the site into a high-quality boutique apartment building, as per the attached plans. The Clayton Companies, headed by Tom Frenkel, has developed or redeveloped numerous high-quality projects throughout Scottsdale over the last 3 decades. Notable residential developments include **The Tom/Scot** ([thetomscot.com](http://thetomscot.com)), and **77 on the Park** ([77onthepark.com](http://77onthepark.com)), in Scottsdale, both of which were also designed by K&I Homes, and proven to be very successful projects.

The Clayton Companies goals are to build long-term relationships with both their tenants and the community. They look beyond short-term gains, and design and build for a long-term hold, retaining ownership of their buildings for decades. Consequently, this proposed project includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size (1 Bedroom units averaging 870 SF, and 2 Bedroom units averaging 1,370 SF), separate laundry and powder rooms, large 8' deep balconies (average size 190 SF – more than three times that required by ordinance). In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size. Experience has shown that this leads to longer-term leases and very low turnover rates, where residents get to know each other, form long term relationships and create a truly comfortable and secure sense of community.

This proposed project that will include 39 living units, in a 3 and 4 story building. Associated amenity areas will be included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.



## The Context

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density.

To the East is the Scottsdale Public Library and Civic Center Mall.

To the North are several older office and residential properties, separated by the existing alley.

To the West is a newly redeveloped residential office

To the South is The Clayton House, a special events venue recently completed by the same developer, and cited in the Old Town Scottsdale Character Area Plan for high quality design through adaptive reuse.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for multi-family residential rental units in the area.

The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. It will promote an integrated, sustainable character for the area with a strong live, work and play component.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

## The Design

The Building Style can be considered as Modern or Contemporary with a Mid-Century Modern twist. It is a timeless design characterized by straight edges and smooth rectilinear forms in a balanced composition that expresses the form and functionality of its components.

The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors.

The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to existing adjacent properties.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

## The Open Space / Landscaping

The proposed project promotes the value of usable open space on several levels and creates a walkable community with connectivity to the surrounding land uses. While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space, including a boutique hotel like pool/amenity area along the 75<sup>th</sup> Street frontage, creating a gathering place that fosters social interaction among residents. While a safety/security fencing is needed around the pool area, it is visually open to the street. A large activity deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. In addition to that all of the units fronting the streets have continuous 8' deep balconies along the entire unit. Averaging 2-300 SF,

these balconies become outdoor living extensions of the units, rather than just a required ordinance appendix. They are sure to be frequently utilized by residents, supporting leisure and high quality of life.

While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor.

The landscaping for the development will be in conformance with city standards and approved palette. Low-water use indigenous plants and trees will be used throughout the project. Turf areas for active and passive recreational use will utilize artificial turf material to conserve water use.

Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### The Environment

The design will respect and enhance the unique climate through the use of solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors.

The interior parking garage eliminates all asphalt from the site, significantly reducing the typical heat-island effect.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features.

### The Pedestrian

The site is ideally located within close proximity (walking distance) to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment.

The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses. This promotes reduced vehicular trip generation, and a sustainable, walkable community.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

### The Parking

There is no Parking Lot. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

There will be no vehicular access drives from either street. Existing driveway along 75<sup>th</sup> Street is being removed, and two additional on street parking spaces added instead.



## Scottsdale General Plan 2001

The Scottsdale General Plan designates the property as 'Mixed-Use Neighborhoods'

**MIXED-USE NEIGHBORHOODS:** Mixed-use neighborhoods are located in areas with strong access to multiple modes of transportation and major regional access and services, and have a focus on human scale development. These areas could accommodate higher density housing combined with complementary office or retail uses or mixed-use structures with residential above commercial or office. 75on2nd is a higher density residential project that provides complimentary office use for the residents.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the General Plan.

### CHARACTER AND DESIGN

**Goal 1. Determine the appropriateness of all development in terms of community goals, surrounding area character, and the specific context of the surrounding neighborhood.**

- Respond to regional and citywide contexts with new and revitalized development in terms of:
  - Scottsdale as a southwestern desert community.
  - Scottsdale as a part of a large metropolitan area with a unique reputation, image, character and identity within its regional setting.
  - Relationships to surrounding land forms, land uses and transportation corridors.
  - Contributions to city wide linkages of open space and activity zones.
  - Consistently high community quality expectations.
  - Physical scale relating to the human perception at different points of experience.
  - Visual impacts (views, lighting, etc.) upon public settings and neighboring properties.
  - Visual and accessibility connections and separations.
- Enrich the lives of all Scottsdale citizens by promoting safe, attractive, and context compatible development.
- Encourage projects that are responsive to the natural environment, site conditions, and unique character of each area, while being responsive to people's needs.
- Ensure that all development is a part of and contributes to the established or planned character of the area of the proposed location.

The Old Town Districts provide regional appeal for future residents. This application is driven by the site's prime location and a strong demand for high quality multi-family residential rental units in the area.

The site is ideally located in close walking distance to a variety of civic, cultural, sports, entertainment, and services related activities and businesses, as well as two of Scottsdale's largest employers (Honor Health and City of Scottsdale). Bus and trolley services are also available in short walking distance. 75<sup>th</sup> and 2<sup>nd</sup> Street provides connectivity to and from Old Town Public Spaces for pedestrians and bicyclists alike. The site is also very close to two major arterials (Scottsdale Rd and Indian School), as well as the Loop 101, providing easy regional access.

The design will respect and enhance the unique character of Scottsdale, with high quality context appropriate design. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.



**Goal 2. Review the design of all development proposals to foster quality design that enhances Scottsdale as a unique southwestern desert community.**

- Promote development that respects and enhances the unique climate, topography, vegetation and historical context of Scottsdale's Sonoran Desert environment, all of which are considered amenities that help sustain our community and its quality of life.
- Promote, evaluate and maintain the Scottsdale Sensitive Design Principles that when followed will help improve and reinforce the quality of design in our community.

75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. Refer to discussion on Scottsdale's Sensitive Design Principles in Section V below.

**Goal 6. Recognize the value and visual significance that landscaping has upon the character of the community and maintain standards that result in substantial, mature landscaping that reinforces the character of the city.**

- Require substantial landscaping be provided as part of new development or redevelopment.
- Maintain the landscaping materials and pattern within a character area.
- Encourage the use of landscaping to reduce the effects of heat and glare on buildings and pedestrian areas as well as contribute toward better air quality.
- Discourage plant materials that contribute substantial air-borne pollen.
- Encourage landscape designs that promote water conservation, safe public settings, erosion protection, and reduce the "urban heat island" effect.

While Open Space, other than the building setback are not required by ordinance, the project includes approximately 30% of the net site area as hardscape, landscape and open space.

The landscape palette has been selected to compliment the adjacent area by continuing the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

Native & low water use plants have been chosen to provide a large variety of texture and form. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

**Goal 7. Encourage sensitive outdoor lighting that reflects the needs and character of different parts of the city.**

- Encourage lighting designs that minimize glare and lighting intrusions into neighborhood settings.
- Encourage creative and high quality designs for outdoor lighting fixtures and standards that reflect the character of the local context.
- Discourage lighting that reduces the viability of astronomical observation facilities within Arizona.
- Allow for lighting systems that support active pedestrian uses and contribute to public safety.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.



## LAND USE

**Goal 4. Maintain a balance of land uses that support a high quality of life, a diverse mixture of housing and leisure opportunities and the economic base needed to secure resources to support the community.**

- Allow for a diversity of residential uses and supporting services that provide for the needs of the community.
- Provide a variety of housing types and densities and innovative development patterns and building methods that will result in greater housing affordability.

This boutique apartment project will include 39 rental units, with a mix of One- and Two-Bedroom units of varying sizes, providing an attractive new housing option for the community.

**Goal 5. Develop land use patterns that are compatible with and support a variety of mobility opportunities/choices and service provisions.**

- Integrate the pattern of land uses and mobility systems in ways that allow for shorter and fewer automobile trips and greater choices for mobility.
- Encourage non-motorized (pedestrian and bicycle) access/circulation within and to mixed-use centers to reduce reliance on the automobile.
- Provide a balance of live, work, and play land uses and development intensities that enable convenient non-automotive trips (pedestrian and cycling and transit) where environmentally and physically feasible.

The Site is located within close proximity (walking distance) to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property.

**Goal 6. Promote land use patterns that conserve resources such as land, clean air, water, and energy and serve all people within the community.**

- Encourage a variety of compatible mixed-use land uses throughout the city in appropriate locations allowing people to live, work, play and shop in the same general area.
- Protect and revitalize established areas/neighborhoods by promoting new development and the adaptive reuse of existing community resources that re-energize an area.

The location of the property provides connectivity to the established retail, restaurant, services and huge employment base in the nearby area. 75on2nd will promote an integrated, sustainable character for the area with a strong live, work and play component. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

**Goal 9. Provide a broad variety of land uses that create a high level of synergy within mixed-use neighborhoods.**

- Incorporate a diverse range of residential and non-residential uses and densities within mixed-use neighborhoods.
- Encourage redevelopment that invigorates an area while also respecting the character of adjacent neighborhoods.
- Encourage compact mixed-use, pedestrian oriented development patterns, at urban densities, that limit the demand for parking and unnecessary automobile trips and support alternative modes of mobility.

72on2nd incorporates a range of residential uses within a mixed-use neighborhood. The compact, high-quality infill redevelopment will invigorate the area, while being respectful to surrounding neighbors. The close proximity to a great variety of commercial, retail and service activities within the area encourages residents to walk and bike, reducing unnecessary automobile trips.



## ECONOMIC VITALITY

### **Goal 7. Sustain the long-term economic wellbeing of the city and its citizens through redevelopment and revitalization efforts.**

- Encourage and support the renovation and reuse of underutilized or vacant parcels/buildings/shopping centers.
- Enhance the experience for visitors who evaluate the quality of their experience through their visual impressions of the community by revitalizing the mature built environment of businesses and neighborhoods.

The existing underutilized site contains three small office buildings, two of which are old and dilapidated. All existing buildings and site improvements are scheduled to be demolished and removed as part of this development. In addition to providing a much more effective and appropriate use for the area, 75on2nd will be a huge visual improvement that will continue to revitalize.

## HOUSING

### **Goal 4. Encourage housing development that provides for "live, work, and play" relationships as a way to reduce traffic congestion, encourage economic expansion and increase overall quality of life for our residents.**

- Encourage a variety of housing densities throughout Scottsdale, with mixed-uses in areas of major employment and transit hubs, to offer greater live-work choices to a broader economic range of households.
- Encourage housing linked/connected to the city's mobility system.

The site is located in close proximity to a huge employment base that includes two of Scottsdale's largest employers, the City of Scottsdale, and HonorHealth. Public bus and trolley service are available within a short walking distance. The site is also just a short distance from several major arterials and the Loop 101, a regional access way.

## NEIGHBORHOODS

### **Goal 1. Enhance and protect diverse neighborhoods so they are safe and well maintained.**

- Provide for a range of housing opportunities.

75on2nd includes 39 rental units of varying sizes in a boutique environment, providing unique new housing option for the community.

### **Goal 3. Sustain the long-term economic well being of the city and its citizens through redevelopment and neighborhood preservation and revitalization efforts.**

- Use redevelopment and revitalization techniques to positively impact the visual and aesthetic impressions that tourists, citizens, and the businesses have of the overall city.
- Maintain and create opportunities for quality housing for all citizens. This is a crucial component of Scottsdale's local economy.

75on2nd is a redevelopment of an under-utilized blighted parcel in a prime downtown location. The scale and quality of the proposed project will be a huge visual improvement and help to revitalize the area. 75on2nd provides for high quality rental housing, and includes features rarely, if ever, provided by the typical apartment developer. This includes much larger unit size, separate laundry/powder rooms, and large 8' deep balconies. In addition, well-appointed outdoor and indoor amenity area are being provided, way beyond what is typically provided in projects of this size

**Goal 5. Promote and encourage context-appropriate new development in established areas of the community.**

- Encourage new development efforts toward existing developed areas in Scottsdale.
- Promote the use of existing infrastructure as an incentive to encourage more infill development within the community.
- Promote existing developed areas of the community as opportune economic development infill sites.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. Massing and height are sensitive to adjacent properties. Color and materials have also been carefully selected to complement the existing context.

**GROWTH AREAS**

**Goal 1. Direct and sustain growth and expansion in areas of the city that can support a concentration of a variety of uses and are particularly suitable for multimodal transportation and infrastructure expansion and improvements.**

- Promote the coordination of infrastructure development and upgrade with opportunities for infill development and development activity where it will encourage a mix of uses and support pedestrian and transit activity.

The property is located in an established area with all major infrastructure already in place than can easily support a higher concentration of residential uses. The property is also close to many multi-modal transportation networks, including arterials, freeways, bus and trolley routes.

**COMMUNITY MOBILITY**

**Goal 8. Emphasize live, work, and play land use relationships to optimize the use of citywide systems and reduce the strain on regional and local/neighborhood systems.**

- Encourage the development or redevelopment of areas that support a balance of live, work and play land use relationships and alternative modes of transportation that reduce the reliance on the automobile.

75on2nd is ideally located within close proximity to abundant retail, restaurant, entertainment and services, to create a sustainable, walk friendly environment with a strong live, work and play component. The location encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.



## **Old Town Scottsdale Character Area Plan**

The Old Town Scottsdale Plan establishes the vision for Old Town Scottsdale.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Character Area Plan.

### **LAND USE**

#### **GOAL LU 3**

CONTINUE THE USE OF DEVELOPMENT TYPES TO GUIDE THE PHYSICAL AND BUILT FORM OF OLD TOWN SCOTTSDALE.

##### **Policy LU 3.2**

Support higher scale Type 2 development in the majority of the Multiple Use areas surrounding the Downtown Core.

This project is located in The Downtown Civic Center District and Designated as a Type 2 Development Type.

#### **GOAL LU 5**

PROMOTE DIVERSITY IN OLD TOWN HOUSING OPTIONS.

##### **Policy LU 5.1**

Develop a variety of housing types such as apartments, condominiums, lofts, townhomes, patio homes, and live/work units.

##### **Policy LU 5.2**

Recognize the need for housing developments that are large scale projects with numerous units and amenities, as well as small infill projects with a limited number of units.

72on2nd is a unique, high quality boutique apartment project on a small infill site.

#### **GOAL LU 6**

ENCOURAGE A MIX OF LAND USES TO SUPPORT A WALKABLE AND SUSTAINABLE DOWNTOWN.

##### **Policy LU 6.1**

Encourage development to provide a mix of uses and active street frontages, particularly in the Downtown Core, along Scottsdale Road, adjacent to primary open space areas and within the more active Old Town districts. For development in peripheral areas such as the Garden District, the Scottsdale Arts District and portions of the Fifth Avenue District west of Goldwater Boulevard, and the Civic Center and Brown and Stetson Districts east of 75th Street that may not be able to support a mix of uses with active frontages, encourage features that create visual interest at the pedestrian level.

The project location does not support extended ground floor mixed-uses and related street activities. Instead, the street side perimeter incorporates outdoor patios, decks and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction and creates visual interest at the pedestrian level.

## CHARACTER & DESIGN

### GOAL CD 1

STRENGTHEN AND ENHANCE OLD TOWN DISTRICT CHARACTER WITH CONTEXTUALLY COMPATIBLE DEVELOPMENT.

#### **Policy CD 1.1**

Incorporate the distinctive qualities and character of the surrounding, and/or evolving district context into building and site design.

#### **Policy CD 1.2**

Encourage public and private development to establish new urban design and architectural character in areas where downtown development patterns are fragmented or are in transition.

#### **Policy CD 1.5**

Maintain the pedestrian oriented small town character and human scale in the Downtown Core. Incorporate similar elements of pedestrian character and scale at the street level in all downtown districts.

This area of downtown east of 75<sup>th</sup> Street is in the early phases of redevelopment and revitalization, transitioning from older low scale/density office residential to the newer designated Type 2 development area. While being considerate of the existing context and adjacent buildings, 75on2nd will continue to establish the architectural character for the area started by recent redevelopment projects, while also creating a unique identity.

Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity. The main building material (stucco) and color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and board formed concrete walls. The orange and teal accent colors are classic mid-century modern colors that reinforce the architecture and provide a unique identity for building.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Shade trees with large canopies will be provided along both streets to provide maximum shade along the pedestrian walkways. Sculptural site walls that also serve as bench seating are provided along both streets. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street.

### GOAL CD 3

OLD TOWN DEVELOPMENT SHOULD RESPECT AND RESPOND TO THE UNIQUE CLIMATE AND CONTEXT OF THE SOUTHWESTERN SONORAN DESERT.

#### **Policy CD 3.1**

Promote downtown urban and architectural design that is influenced by, and responds to, the character and climate of the Sonoran Desert.

#### **Policy CD 3.2**

Enhance outdoor pedestrian comfort through the creation of microclimates that incorporate a variety of shade, trees, and other drought tolerant landscape features to create passively cooler temperatures.

#### **Policy CD 3.3**

Pursue building and development strategies that reduce the heat island effect within downtown.

#### **Policy CD 3.4**

Public realm and site design should incorporate techniques for efficient water use. Water, as a landscape element or design feature, should be used judiciously and placed in locations with high pedestrian activity



75on2nd is carefully designed to be responsive to the unique local climate through the use of building orientation, solar shading, landscaping, recessed and covered balconies, large overhangs, articulation, material selection, textures and light paint colors. In addition, asphalt and parking lots have been eliminated from the site and placed inside the building, reducing the heat island effect.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas.

A small water feature is incorporated into the pool area, close to the street where it can be heard by pedestrians passing by.

#### **GOAL CD 4**

CREATE A DYNAMIC AND CONNECTED WALKABLE DOWNTOWN THROUGH URBAN AND ARCHITECTURAL DESIGN.

##### **Policy CD 4.1**

Encourage urban and architectural design that is human scale and provides pedestrian comfort.

##### **Policy CD 4.3**

Improve the pedestrian experience on arterial roadways with features such as increased and consistent sidewalk width, shade, trees, on-street parking, landscape buffers, landscape medians, and pedestrian refuge islands.

The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns. While adjacent streets are smaller local streets, they are important pedestrian passageways through the area. The 2<sup>nd</sup> street sidewalk was recently redone and widened along with new on-street parking. This project enhances those improvements by removing the existing driveway and adding additional on-street parking. The narrow sidewalk along 75<sup>th</sup> street will be removed, and a wider sidewalk installed detached from the curb. Both streets will get large shade trees and integrated pedestrian seating areas.

#### **GOAL CD 5**

ESTABLISH AN INVITING AND INTERCONNECTED DOWNTOWN PUBLIC REALM AND OPEN SPACE NETWORK THAT IS USEFUL, SAFE, INTERESTING, WALKABLE, AND COMFORTABLE TO ALL.

##### **Policy CD 5.2**

Private and public development should contribute to the creation of new, and/or the expansion of existing, public realm and open space areas throughout Old Town.

##### **Policy CD 5.3**

Provide a variety of public realm and open space areas that accommodate multiple activities and special events for downtown residents, visitors and workers of all ages.

The proposed sidewalk and landscape improvements along both street frontages, as discussed above (Goal CD4) and below (Goal CD6) will significantly contribute to this goal.

Open space activity areas for residents and their guests are provided along the 2<sup>nd</sup> Street frontage, where there are visible and interactive with the public realm.

## **GOAL CD 6**

CREATE SAFE, COMFORTABLE, AND INTERESTING STREET SPACES.

### **Policy CD 6.1**

Create a unified public realm experience through the design of downtown streets, building setback areas, and building frontages.

### **Policy CD 6.2**

Connect downtown street spaces with other pedestrian spaces and linkages.

### **Policy CD 6.3**

Streetscapes should provide continuity for the pedestrian across different developments along the same street. This continuity can be established through the provision of consistent landscape improvements, street tree themes, shade elements, decorative paving, street furniture, public art, and other integrated infrastructure elements.

Building setbacks along the street frontage are guided by the Downtown Ordinance, and consistent with surrounding properties, new and old.

To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. This is consistent with the recent sidewalk improvements along Main Street Place to the North. Landscaping and hardscape improvements along both streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street,

## **GOAL CD 7**

INCORPORATE A REGIONAL LANDSCAPE PALETTE THAT COMPLEMENTS THE URBAN AND PEDESTRIAN CHARACTER OF OLD TOWN.

### **Policy CD 7.1**

Old Town open space and landscape elements should project a desert oasis character, providing an abundance of shade, color, varied textures and forms.

### **Policy CD 7.2**

Landscape materials should complement the built environment, land uses, and other downtown activities. Careful selection of downtown plant materials should take into account attributes such as scale, density, placement, arrangement, and maintenance requirements.

The landscape palette has been selected to compliment the adjacent area. Native & low water use plants have been chosen to provide a large variety of texture and form. Plant selection specifically includes plants that are used by neighboring properties to help create a consistent neighborhood theme. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods & work well within the proposed microclimate areas. They also promote a sustainable desert oasis planting theme to match the surrounding character.

The native plant palette selected promotes a more natural landscape requiring minimal maintenance requirements to keep the landscape more natural & healthy.

## **GOAL CD 8**

INTEGRALLY DESIGN LIGHTING INTO THE BUILT ENVIRONMENT.

### **Policy CD 8.1**

Achieve a balance between ambient light levels and designated lighting needs to ensure safe lighting levels while reducing light pollution and glare.

### **Policy CD 8.2**

Encourage lighting that is energy efficient and designed to serve both pedestrian and vehicular safety in public and private spaces.



**Policy CD 8.3**

Use lighting to provide a safe and inviting nighttime environment for residents, businesses, visitors, and nighttime special events and activities.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

**GOAL CD 9**

IMPLEMENT HIGH QUALITY URBAN AND ARCHITECTURAL DESIGN IN OLD TOWN.

**Policy CD 9.2**

Incorporate the *Scottsdale Sensitive Design Principles* and the *Old Town Urban Design and Architectural Guidelines* in all development.

**Policy CD 9.3**

Achieve high quality urban and architectural design through the development review process.

75on2nd incorporates many of the Sensitive Design Principals and Urban Design Guidelines as detailed in Section IV and V of this application.

Concurrent with this Re-Zoning we are requesting Development Review Board Approval of the proposed project. Refer to discussion under Development Review Board Criteria in Sec. VI below.

**GOAL CD 10**

INCORPORATE SUSTAINABLE BUILDING PRACTICES IN OLD TOWN DEVELOPMENT.

**Policy CD 10.2**

Incorporate sustainable planning, design and building techniques into downtown development and use durable indigenous materials that will endure over time, to minimize environmental and maintenance impacts.

**Policy CD 10.3**

Encourage green building and biophilic design strategies such as building orientation, passive solar and cooling techniques, natural daylighting, and the integration of regional plant materials as part of downtown development.

**Policy CD 10.4**

Promote the use of energy efficient systems, construction methods, and renewable energy sources in downtown development.

**Policy CD 10.6**

Use existing urban resources, such as infrastructure systems, underutilized sites, buildings, and transportation networks to minimize the use of new resources.

**Policy CD 10.8**

Develop and maintain sustainable solid waste collection, recycling, and disposal delivery systems downtown. Encourage the use of shared waste containers and compactors among businesses to reduce the number of containers in downtown and their negative aesthetic, olfactive and circulation impacts.

75on2nd incorporates sustainable planning and design through the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,

75on2nd incorporates green building strategies through the use of building orientation, solar shading, landscaping, recessed and covered balconies, and large overhangs. The development anticipates achieving a high level of sustainability, incorporating highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances.

75on2nd is located on an underutilized site in a prime location with all utility and transportation infrastructure in place. As an infill redevelopment project, 75on2nd will provide revitalization and more productive use for this core area of Scottsdale.

Solid waste collection is provided with shared containers located out of sight off the existing alley.

#### **GOAL CD 11**

INFRASTRUCTURE DESIGN SHOULD POSITIVELY CONTRIBUTE TO OLD TOWN IDENTITY.

##### **Policy CD 11.2**

Develop infrastructure improvements that positively impact the aesthetic and mobility aspects of the pedestrian environment.

##### **Policy CD 11.3**

Underground overhead utilities, when physically and economically feasible, to reduce the negative visual impacts in the downtown.

##### **Policy CD 11.4**

Minimize the aesthetic and circulation impacts of power and communication system equipment located in rights-of-way.

A driveway currently serving the existing office building from 2nd street will be removed and replaced with a new sidewalk segment, associated landscape improvements and on street parallel parking, improving the sidewalk aesthetic and pedestrian experience along the street.

Any existing overhead utilities services within the property ROW will be removed and all new utility services will be placed underground. All new power and communication equipment will be located off the existing alley, out of public view.

#### **ECONOMIC VITALITY**

#### **GOAL EV 2**

PROMOTE PRIVATE INVESTMENT IN, AND ATTRACT NEW DEVELOPMENT TO, OLD TOWN.

##### **Policy EV 2.1**

Encourage investment in residential and commercial development that ensures Old Town's economic competitiveness regionally and nationally.

##### **Policy EV 2.2**

Promote a mix of daytime/nighttime activities year-round through residential and commercial development in Old Town.

##### **Policy EV 2.8**

Recognize that talent is a critical component of business location decisions and enhance Old Town's quality of life amenities and housing choices, to appeal to a skilled workforce.

75on2nd is a unique high-quality boutique apartment project that provides an attractive alternative to the typical large-scale apartment complex, that will attract young professionals to the area. New residents will support nearby services 24/7 and help energize the surrounding area.



## **Downtown Scottsdale – Urban Design & Architectural Guidelines**

The primary purpose of these Guidelines is to influence the general character of new projects so Downtown will preserve its present qualities as it develops.

Below is an outline of how the proposed project aligns with and reinforces some of the key goals and policies of the Guidelines

### **A. SITE DEVELOPMENT**

#### **A1. RELATIONSHIP OF NEW TO EXISTING DEVELOPMENT**

- All development proposals should show evidence of coordination with the site plan, arrangement of building forms and landscape design and facade patterns of neighboring properties. New buildings must coexist with their neighbors. While a firm rule is not possible, every new proposal must demonstrate it has considered the contextual influences of neighboring properties and has made a diligent effort to orchestrate careful relationships between new and old

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at the corner building element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls.

#### **A4. PARKING FACILITIES**

- Minimize the visual impact of parking structures and parking lots by locating them at the rear or interior portions of building sites.
- Parking access from alleys and side streets is desired. The number of entrances to parking facilities from other streets, especially major arterials, should be kept to a minimum.

All of the required parking will be provided in a ground level parking garage accessed from the existing alley. There is no driveway entrance from either street, and the parking garage is screened from the street by the residential amenity areas provided.

#### **A5. BUILDING EQUIPMENT AND SERVICES**

- Locate service and loading zones to minimize visibility from public streets.
- On Downtown building sites served by the alley system, locate all serve-delivery entrances, loading docks and refuse collection facilities in the alley area.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

#### **A8. THE CONTINUITY OF STREET SPACES**

- Buildings should create consistent street setback patterns by locating a maximum amount of their front elevation on the setback line.
- The preferred building-street relationship is to place buildings parallel to the street.

##### **Corner Buildings**

Corner buildings should make a strong tie to the building lines of each street.



The building is placed parallel to both streets and located at the minimum or prevailing setback in conformance with the Scottsdale Zoning Ordinance for Downtown. A strong corner element is provided emphasizing the main building entry and ground floor office use.

#### **A9. THE BUILDING SETBACK ZONE**

- The building setback zone should be developed as a "patio" landscape designed primarily for pedestrian activity and enjoyment.
- The planting plan along street edges should be linear and rhythmic with occasional contrasts and accents.
- Trees scaled and located to create shade for pedestrians and for appreciation by passing motorists.

The building setback zone incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. Landscaping along both streets will continue the linear and rhythmic theme established by The Clayton House across the street to the South. Shade trees with large canopies are strategically placed to provide maximum shade coverage along Pedestrian walkways. Understory plantings have been selected to provide seasonal interest with a variety of bloom periods.

#### **B. BUILDING FORM**

##### **B1. REDUCTION OF APPARENT SIZE AND BULK**

Downtown buildings of three or more stories should be designed as carefully-orchestrated compositions of smaller parts. Every building should reduce its perceived height and bulk by dividing the building mass into smaller-scale components. Large or long continuous wall planes should be avoided. As a general principle, building surfaces over two stories high or 50 feet in length should be relieved with a change of wall plane that provides strong shadow and visual interest.

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

##### **B2. COMPOSITION OF RECESSES AND PROJECTIONS**

Recesses and projections are encouraged to divide horizontal planes of the building into smaller-scale elements and to produce strong areas of shade and shadow.

- Recesses may be used to define courtyards, entries or other outdoor spaces along the perimeter of the building. Recessed courtyard to divide building mass into smaller parts
- Recessed balconies, porches and loggias create a sense of depth in the building wall, contrasting surfaces exposed to the sun with those in the shadow. The strong, alternating light and dark pattern is a distinctive quality of regional architecture in the Southwest.
- Projections may be used to emphasize important architectural elements such as entrances, bays, stair towers, balconies and verandas.

The center 4 story portion of the building is recessed to provide for the outdoor pool amenity area. Large balconies are both recessed and extruded from the building mass, creating an interplay of light and shadow, that is further enhanced by change in color and materials. The stair towers anchor the building components and break up the overall mass by forming a strong vertical element, in an otherwise horizontal composition.



## **C. ARCHITECTURAL CHARACTER**

### **C1. PROPORTION AND SCALE**

- Building proportions with horizontal emphasis are generally desired.
- It is desirable that the spacing of elements in facades be varied rather than repetitive. Avoid repetitive proportions. Varied proportions encouraged.

The large balconies create a horizontal emphasis to the building proportions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components of varied proportions.

### **C2. BUILDING MATERIALS**

- Restraint should be used in the number of different building materials selected. Simplicity of palette is desired.
- Building materials similar to those in predominant use on the street or in the district of the new project are encouraged.

### **C3. COLOR AND TEXTURE**

- Building colors should emphasize light and muted colors, with light earth tones dominant.
- Color selection should show evidence of coordination with the predominant use of color on the street and district of the new project.

Color and materials have been carefully selected to complement the architectural design and the existing context. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls.

### **C3. ARCHITECTURAL DETAIL - BALCONIES**

Balconies provide space for outdoor activity and are often helpful to give scale to a building wall. They provide an element of human size which can effectively contrast with the solid, massive character of a wall.

Large deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units, that are sure to be frequently utilized by residents.

## **D. LANDSCAPE CHARACTER**

### **D1. STREETS**

- Plants, street furniture, paving, and other landscape elements should be organized along streets to create a unified civic appearance. The materials and layout of these elements should conform to City standards.
- A safe comfortable pedestrian environment should be created as a result of creative street frontage design. Give primary consideration to provision of ample shade, special paving, and buffer between the street and walking space.

The landscaping for the development will be in conformance with city standards and approved palette. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.



## Scottsdale's Sensitive Design Principles

The proposed development will embrace and implement the following Sensitive Design Principles, that improve and reinforce the quality of design in the community:

1. The design character of any area should be enhanced and strengthened by new development.

The design compliments and significantly enhances the existing urban fabric of the surrounding area. The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors. Color and materials have been carefully selected to complement the existing context, as well as to provide a unique identity.

5. The design of the public realm, including streetscapes, parks, plazas and civic amenities, is an opportunity to provide identity to the community and to convey its design expectations.

The building has a demanding, yet sophisticated street presence that will provide a unique and attractive streetscape. The proposed project is a natural fit and compliments the fabric of existing land uses found within the area. The proposed development will promote an integrated, sustainable character for the area with a strong live, work and play component.

6. Developments should integrate alternative modes of transportation, including bicycles and bus access, within the pedestrian network that encourage social contact and interaction within the community.

The site is located within close proximity to abundant retail, restaurant and services, to create a sustainable, walk friendly environment that takes advantage of the huge employment and service base in the vicinity of the property. The design encourages residents to walk, bike and utilize transit opportunities. The adjacent streets provide a framework for pedestrian and bicycle connections between the project and other surrounding land uses.

7. Development should show consideration for the pedestrian by providing landscaping and shading elements as well as inviting access connections to adjacent developments.

The design provides elements that cater to the pedestrian through the use of building character, connectivity, landscaping, hardscape, and lighting. Landscaping along the streets will continue the theme established by The Clayton House across the street to the South. This will create a unified landscape character for a significant stretch on both sides of the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk.

8. Buildings should be designed with a logical hierarchy of masses:

- To control the visual impact of a building's height and size

The building mass is designed with a hierarchy of one-, three- and four-story building components. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor

9. The design of the built environment should respond to the desert environment:

- Interior spaces should be extended into the outdoors both physically and visually when appropriate

Large and deep balconies are a very important component of the design and building character. All of the units fronting the streets have more or less continuous 8' deep balconies along the entire unit. Averaging 2-300 SF, these balconies become outdoor living extensions of the units.



- A variety of textures and natural materials should be used to provide visual interest and richness, particularly at the pedestrian level. Materials should be used honestly and reflect their inherent qualities

Color and materials have been carefully selected to complement the architectural design and the existing context, using a variety of materials and textures. The main building stucco/color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block and board formed concrete site walls. By principal the design is void of all arbitrary applied ornamentation, striving towards simplicity, honesty and clarity of form and beauty. Protruding shadow blocks are used to create sculptural patterns that add visual interest at the pedestrian level.

10. Developments should strive to incorporate sustainable and healthy building practices and products.

The development anticipates achieving a high level of sustainability, utilizing recognized green building features. The building and unit design will incorporate highly efficient mechanical systems, low flow plumbing fixtures, LED lighting throughout and Energy Star rated appliances

Sustainable building practices include the use of durable materials that are locally sourced and require minimal maintenance, such as exposed integrally colored masonry, cast in place board formed concrete, locally manufactured aluminum siding, and integrally colored stucco,

13. The extent and quality of lighting should be integrally designed as part of the built environment.

Exterior lighting has been carefully integrated into the architecture, providing ambiance, identity and safety to residents and visitors alike.

The lighting is carefully designed to minimize glare and intrusion into neighboring property and the dark sky above. The existing streetlights provide safe passage for pedestrians along the street sidewalks. Safety and security lights are provided along the existing alley. Up/down accent lighting is provided at the balconies. All on site lighting is energy efficient LED with consistent 3000K color throughout. Wall grazing accent lighting is provided to accentuate the verticality and shadow reliefs of the two stairwells along 2<sup>nd</sup> street. Additionally, low voltage landscape lighting will be provided throughout to accent and enhance all the landscaping, as well as uplight and accentuate the shadow relief blocks of the sculptural masonry garage walls.

14. Signage should consider the distinctive qualities and character of the surrounding context in terms of size, color, location and illumination.

- Signage should be designed to be complementary to the architecture, landscaping and design theme for the site, with due consideration for visibility and legibility.

The main project identification signs compliment and are an integral part of the architectural design.



## **Development Review Board Criteria**

### **Ordinances, Master Plans, General Plan, and Standards**

Describe how the proposed development will comply with the design and character elements of the General Plan, the appropriate character area plan, all applicable city-wide master plans, the zoning ordinance development standards, the Design Standards and Policies Manual, all applicable city-wide design guidelines, and the appropriate Master Environmental Design Concept Plan.

#### **Scottsdale General Plan**

The proposed development will comply with the 2001 General Plan as previously outlined in Section II.

#### **Old Town Scottsdale Character Area Plan**

The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III.

#### **Scottsdale Zoning Ordinance**

The proposed development will comply with the development standards of the D/MU-2 zoning designation.

#### **Scottsdale Design Standards and Policies Manual**

The proposed development will comply with all relevant sections of the Scottsdale Design Standards and Policies Manual

#### **Downtown Plan Urban Design & Architectural Guidelines**

The proposed development will comply with the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

#### **Scottsdale Sensitive Design Principals**

The proposed development will comply with the Scottsdale Sensitive Design Principals as previously outlined in Section V.

### **Architectural Character, Landscaping, and Site Design**

Explain how the proposed development has been designed so that it:

- Promotes a desirable relationship of structures to one another, to open spaces and topography, both on the site and in the surrounding neighborhood;

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. The site plan and building form have been carefully articulated to coordinate with and respect neighboring properties. The building height steps down from 4 story in the middle to 3 story on the East and West to properly transition to adjacent properties. The 4-story portion of the building is set back further from the street and buffered by a single-story gym building and outdoor amenity spaces. While no side yard setback is required by ordinance, a 20-foot landscape buffer is provided on the East side of the building, respecting our single-family office residential neighbor. Color and materials have also been carefully selected to complement the existing context. The main building color closely matches that of the Scottsdale Library across the street to the East. The woodgrain siding at ground level and corner element closely matches that of The Clayton House across the street to the South, as do the stucco accents, exposed CMU block, and cast-in place board formed concrete site walls

- Avoids excessive variety and monotonous repetition;

By principal of design, the building is void of all arbitrary ornamentation, striving for simplicity of style and honest expression of materials and building functions. The building mass is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components, forming a balanced composition that expresses the form and functionality of its components. The building design along with the associated hardscape and landscape improvements provide a visually interesting and comfortable walking experience along the building frontage, enhanced by a variety of building materials, textures and sculptural shadow patterns.



- Recognizes the unique climatic and other environmental factors of this region to respond to the Sonoran Desert environment, as specified in the Sensitive Design Principles;  
The proposed development will comply with the Scottsdale Sensitive Design Principles as previously outlined in Section V.

### **Ingress, Egress, On-Site Circulation, Parking, and Pedestrians**

Describe how the site layout of the proposed development has been designed to promote safety and convenience, relative to ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas, and pedestrian ways.

All of the required parking will be provided in a ground level parking garage accessed only from the existing alley. There is no driveway entrance from either street, providing a safe contiguous sidewalk along the entire street frontage.

### **Mechanical and Utility Equipment**

Describe how the proposed development will locate mechanical equipment, appurtenances, and utilities so that these elements will not conflict with street frontage open space, pedestrian amenities, resident amenities, landscape features, or on-site circulation, and has utilized screening devices that are integral to the design of the building, in order to screen mechanical equipment, appurtenances and utilities.

All building services are located off the existing alley. Mechanical equipment is located on the roof, screened by the building parapets. Electrical services are located inside the parking garage.

### **Downtown Area**

If the development proposal is within the Downtown Area, explain how the proposed development:

- Demonstrates conformance with the Downtown Plan Urban Design & Architectural Guidelines;  
The proposed development will comply with the Old Town Scottsdale Character Area Plan, as previously outlined in Section III, as well as the Downtown Plan Urban Design & Architectural Guidelines as previously outlined in Section IV.

- Incorporates urban and architectural design that address human scale and incorporates a pedestrian-oriented environment at the street level;

The street side perimeter incorporates outdoor patios and amenity spaces for residents and visitors, creating a gathering place that fosters social interaction. A large open deck is also provided on the 2<sup>nd</sup> floor above the gym, that fronts on the street. To better the pedestrian experience, the sidewalk along 75<sup>th</sup> Street has been detached and widened, and a landscape buffer has been added between the street and the sidewalk. Large trees provide shade along the public sidewalks, and built in site walls serve as seating areas.

- Reflects contemporary and historic interpretations of Sonoran Desert architectural traditions, by subdividing the overall massing into smaller elements, expressing small scale details, and recessing fenestrations;

The building form is extruded, recessed and stepped in both the horizontal and vertical planes, providing relief, visual interest and a multitude of separately identifiable components. The stacked masonry concealing the parking garage from view forms a strong base to the building and is enhanced with a sculptural pattern of protruded blocks that form an interesting shadow pattern along the wall both day and night. The building height is varied from one, to three and four stories. The 3 story portions on the East and West provide transition to adjacent buildings, while the 4-story portion in the middle is recessed back from the street to reduce its perceived height and bulk.

- Reflects the design features and materials of the urban neighborhoods in which the development is located; and

- Integrates building mass, height, materials, and intensity transitions between adjacent/abutting Type 1 and Type 2 Areas, and adjacent/abutting Type 2 Areas and existing development outside the Downtown Area.

The property is adjacent to mixed-use, residential, commercial and civic properties of varying age, character, condition, scale and density. As previously described, the building mass, height, materials and colors have been carefully selected to complement the existing context, as well as to provide a unique identity for the project.



## Conclusion

In summary, this request is for a rezoning of 4 parcels from **D/OR-2 DO** (Downtown/Office Residential – Type 2 Downtown Overlay) and **S-R DO** (Service Residential Downtown Overlay), to **D/DMU-2 DO** (Downtown / Downtown Mixed-Use Type 2 Downtown Overlay) on approximately 1.1 Gross acre site, located on the Northeast corner of 75<sup>th</sup> Street and 2<sup>nd</sup> Street, in the Civic Center District of Old Town Scottsdale.

The current zoning would allow for the proposed density of the proposed project, but a rezone is required to increase the allowable height on the OR zoned portion of the site.

This proposed project will include 39 living units, in a 3 and 4 story building with associated amenity areas included at ground level along the Street frontage. The project will include a mix of 1- and 2-bedroom units, ranging in size from 750-1400 SF. All of the required parking will be provided in a ground level parking garage accessed from the existing alley.

The proposed development achieves a wide range of goals including revitalizing an underutilized property, integrating high-quality, high-design, vibrant architecture and site planning to the area, and creating pedestrian synergy that will complement the surrounding land uses, and contribute to the live/work/play land use balance promoted by the Old Town Scottsdale Character Area Plan.

The development of this site will continue the revitalization of the surrounding community and provide attractive new housing options. It will also be a catalyst for future redevelopment in the area. Reinvestment and redevelopment in this mature area of the City is critical to its future success.

The surrounding restaurant, retail, service, and employment core will benefit from this development, and provide an attraction for future residents.

Concurrent with the Re-Zoning we are requesting Development Review Board Approval of the proposed project.

The development team is committed to delivering a sustainable development that will enrich and revitalize the character and success of the surrounding area and of the City of Scottsdale in general.

This application includes a range of exhibit including the site plan, elevations, perspective views, and landscape plans that demonstrate the character and high-level of design proposed for this site.





1 3D View - from SW  
1/2" = 1'-0"



2 3D View - from NW  
1/2" = 1'-0"

#### SHEET INDEX

A0.1 Cover sheet  
A0.2 Context Aerial

**Survey**  
AS1 ALTA SURVEY  
AS2 ALTA SURVEY

**Chili**  
C1 Conceptual Cover Sheet  
C2 Conceptual Grading and Drainage Plan  
C3 Conceptual Utility Plan

**Landscape**  
L1 Preliminary Landscape Plan  
L2 Preliminary Landscape Plan - Lighting

**Architectural**  
A1.1 Site Plan  
A1.2 Site Plan - Worksheet  
A2.1 1st / Ground Floor Plan  
A2.2 2nd Floor Plan  
A2.3 3rd Floor Plan  
A2.4 4th Floor Plan  
A2.5 Roof Plan  
A3.1 Exterior Elevations  
A3.2 Exterior Elevations - Worksheet  
A3.3 Building Sections  
A4 Building Sections  
A5 Renderings

E0.1-4 Photometrics and Light Fixture Cut Sheets

#### APPLICANT / ARCHITECT

Company K&I HOMES, LLC  
Address 6125 E Indian School Rd #2000  
SCOTTSDALE, AZ 85251  
Phone Number 602-505-5525  
Contact KRISTIAN SIGURDSSON

#### OWNER / DEVELOPER

Company CLAYTON 12TH STREET, LLC  
Address 7340 E MAIN ST #200  
SCOTTSDALE, AZ 85251  
Phone Number 480-941-2380  
Contact MAX FRENKEL



K&I HOMES, LLC

6125 E INDIAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 602-505-5525



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

#### Revisions

#	Description	Date

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ISSUE DATE: 5/15/2019



SHEET TITLE:  
Cover Sheet

SHEET NUMBER:

A0.1

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019



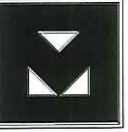


1 Site Plan - Aerial Overlay  
1" = 80'-0"

SCALE: 0" = 1" = 80'-0"  
0 40' 0" 80' 0" 160' 0"



K & I HOMES, LLC  
6125 E. LINDEN AVE. SUITE 100  
SCOTTSDALE, AZ 85251  
PH: 602-505-5828



75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions		
#	Description	Date

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SHEET TITLE:  
Context Aerial

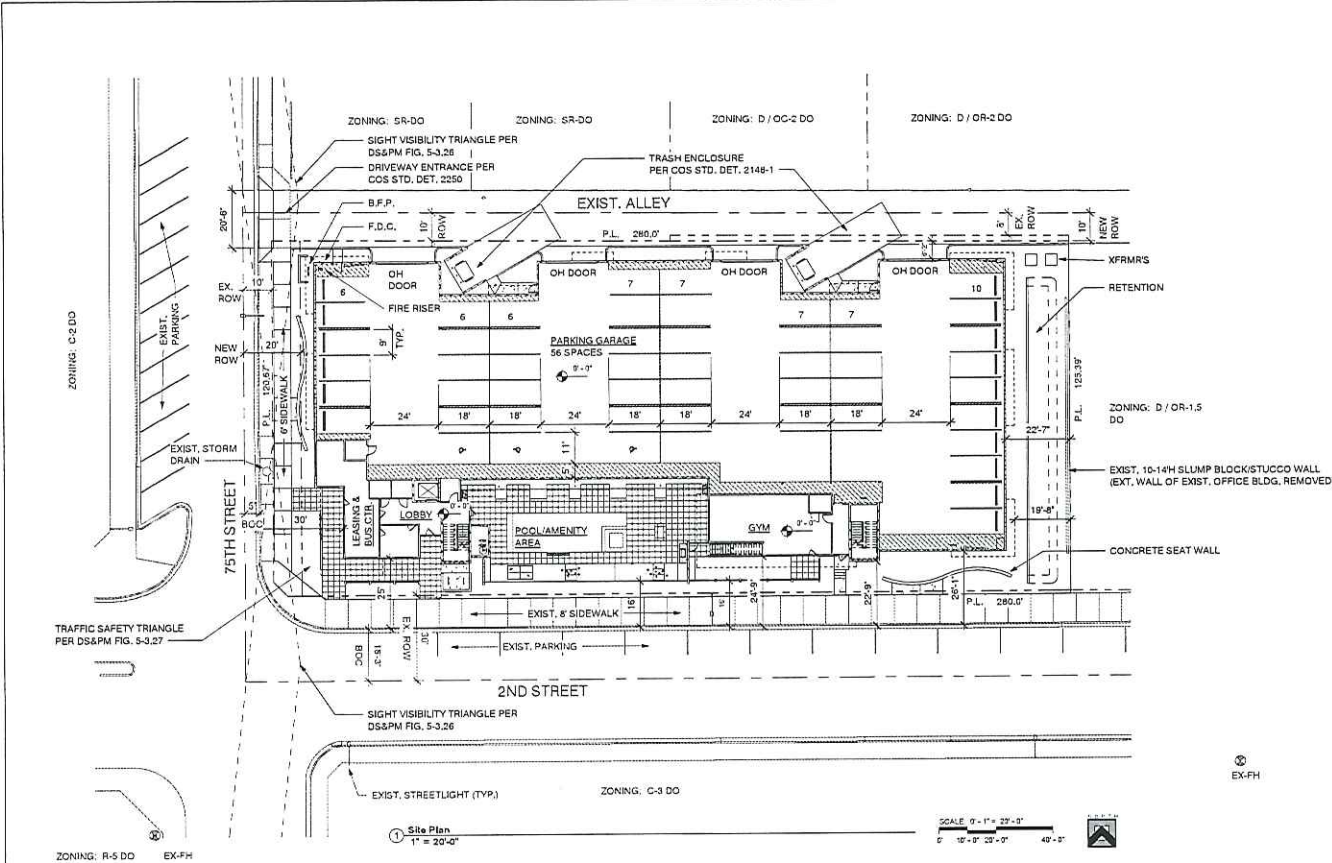
SHEET NUMBER:

A0.2

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





#### GENERAL SITEPLAN NOTES - CITY OF SCOTTSDALE

- SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY SHALL BE SINGLE TRUNK AND HAVE A CANOPY THAT BEGINS AT 6'-0" IN HEIGHT UPON INSTALLATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICES MANUAL.
- THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES DIVISION.
- ALL RIGHT-OF-WAYS ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- A MASTER SIGN PROGRAM SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPMENT REVIEW BOARD PRIOR TO THE ISSUANCE OF A SIGN PERMIT FOR MULTI-TENANT BUILDINGS.
- NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- FLAGPOLES, IF PROVIDED, SHALL BE ONE PIECE CONICAL TAPERED.
- NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- PATIO UMBRELLAS, IF PROVIDED, SHALL BE SOLID COLORS AND SHALL NOT HAVE ANY ADVERTISING IN THE FORM OF SIGNAGE OR LOGOS.
- ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO THE HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HIGHEST OF THE TALLEST UNIT. (DETAILS ARE STILL REQUIRED).
- ALL EQUIPMENT, UTILITIES, OR OTHER APPURTENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR, AND TEXTURE.
- NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- ALL POLE-MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20'-0" IN HEIGHT.
- NO CHAIN LINK FENCING SHALL BE ALLOWED.
- NO TURF AREAS SHALL BE PROVIDED.

#### GENERAL NOTES - SCOTTSDALE REVISED CODE

- IN ACCORDANCE WITH SEC. 47-80 ALL ELECTRIC AND COMMUNICATIONS LINES INSTALLED IN THE RIGHT-OF-WAY SHALL BE INSTALLED UNDERGROUND, EXCEPT ELECTRIC LINES EQUAL TO OR GREATER THAN 12.5KVA CAPACITY

#### PROJECT INFO

**PROJECT NAME:** 75 on 2nd  
**SITE ADDRESS:** 7502 E. 2ND STREET  
**PROPOSED USE / SCOPE:** 3 & 4 STORY BOUTIQUE APARTMENT BUILDING WITH 39 UNITS  
**PARCEL #S:** LOTS 10-13 130-25-028B / 130-25-029A / 130-25-030A / 130-25-031A  
**PARCEL SIZE:** LOTS 10-13 34,980 SF = 0.80 ACRES  
**NET SITE AREA:** 47,560 SF = 1.09 ACRES  
**GROSS SITE AREA:** 47,560 SF = 1.09 ACRES  
**CURRENT ZONING:** LOTS 10-11 D / OR-2 DO  
 LOTS 12-13 S-R DO  
**PROPOSED ZONING:** DMU-2 DO  
**DWELLING UNIT DENSITY:** 39 DU/1.09 AC = 36 50 MAX. ALLOWED  
**BUILDING HEIGHT:** 4 STORIES / 50' 66' MAX. ALLOWED  
**LOT COVERAGE (NET SITE AREA):** 20,002 SF/34,980 SF = 62.9%  
**CONSTRUCTION TYPE:** V-A FULLY SPRINKLERED

FLOOR	OCCUPANCY	DESCRIPTION	ACTUAL FLOOR AREA
GROUND FLOOR	R-2 / B / S-2	MIXED-USE	20,002 SF
2ND FLOOR	R-2	APARTMENTS	18,945 SF
3RD FLOOR	R-2	APARTMENTS	18,945 SF
4TH FLOOR	R-2	APARTMENTS	10,873 SF
TOTAL			70,765 SF

**FLOOR AREA RATIO:** 51,429 / 34,980 = 1.47  
**GFR:** 2,666 / 47,560 = 0.06 1.3 MAX. ALLOWED  
**FIRE SPRINKLERS:** YES FULL NFPA 13 & 13R  
**OCCUPANCY GROUP:** S-2  
 PARKING GARAGE B  
 LEASING & GYM R-2  
**UNIT MIX:** 23 - 1 BED / 1.5 BATH & 16 - 2 BED / 2.5 BATH = 39 UNITS TOTAL  
**OPEN SPACE REQUIRED:** NONE  
**OPEN SPACE PROVIDED:** FRONT OPEN SPACE +/- 4,600 SF  
 AMENITY OPEN SPACE 4,450 SF  
 OTHER OPEN SPACE 2,330 SF  
 TOTAL OPEN SPACE +/- 11,380 SF

**PRIVATE OPEN SPACE REQUIRED:** 6' DEEP AND 60 SF MINIMUM EA. UNIT

**PRIVATE OPEN SPACE PROVIDED:** 6' DEEP TYPICAL UNIT AREA RANGE 95 SF - 296 SF / AVE. AREA 189 SF

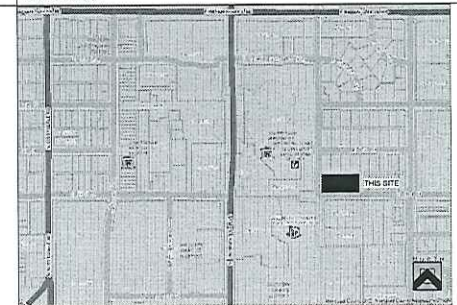
PARKING REQUIRED FOR RESIDENTIAL USE (9'-0" X 18' MIN. SIZE PARKING SPACE):			
1 BEDROOM UNITS	1.0 SP / UNIT	= 23 x 1.0	= 23 SPACES
2 BEDROOM UNITS	2.0 SP / UNIT	= 16 x 2.0	= 32 SPACES
TOTAL PARKING REQUIRED			55 SPACES
ACCESSIBLE REQUIRED:	4% OF TOTAL		= 3 SPACES
BIKE PARKING REQUIRED:	2 / 10 REQ'D PARKING SPACES		= 6
PARKING PROVIDED:	STANDARD	ACCESSIBLE	TOTAL
PARKING GARAGE	53	3	56
			BIKES 6

#### LEGAL DESCRIPTION

Lots 10, 11, 12, and 13, Block 2, of redeveloped manor, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 48 of Maps, Page 27

To be combined into a single lot with a new FINAL PLAT

#### VICINITY MAP



K & I HOMES, LLC



Clayton

75 on 2nd  
 7502 East 2nd Street  
 Scottsdale, AZ

#### Revisions

#	Description	Date
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 ISSUE DATE: 5/10/2019



SHEET TITLE:  
 Site Plan

SHEET NUMBER:

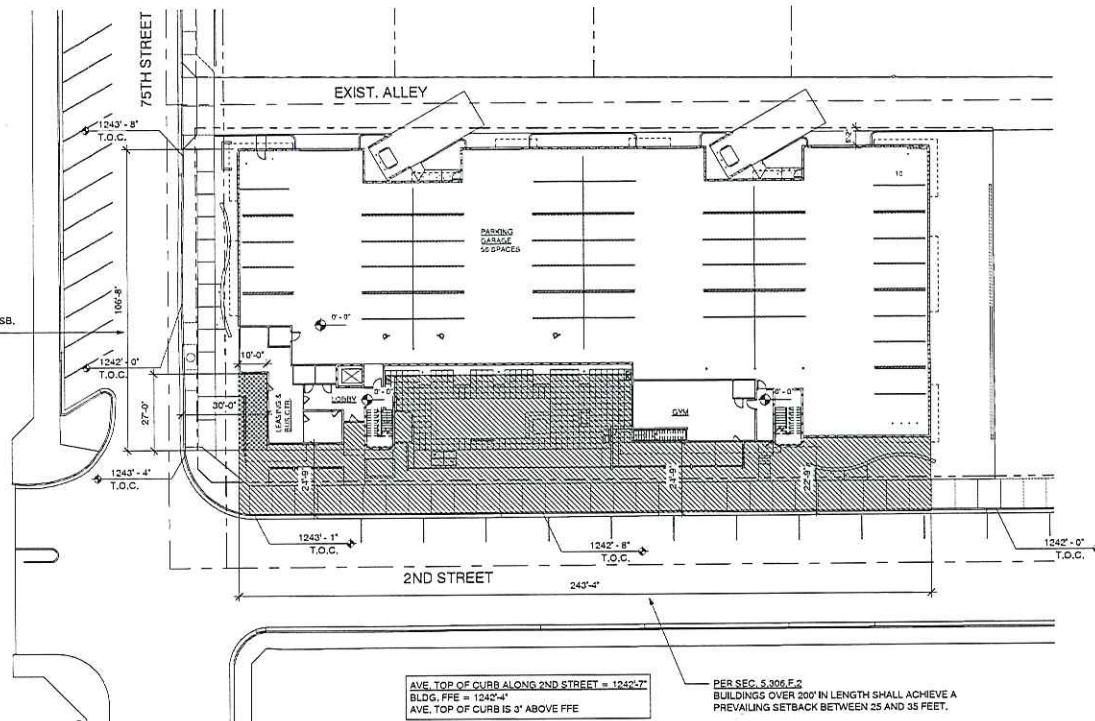
A1.1

ReZone-2 - Design  
 Review1

2-ZN-2019  
 05/10/2019

AVE. TOP OF CURB ALONG 75TH STREET = 1243'-0"  
BLDG. FFE = 1242'-4"  
AVE. TOP OF CURB IS 8" ABOVE FFE

PER SEC. 5.306.F.1.B.  
i. 74.7 % OF BUILDING LENGTH LOCATED AT MIN. SB.  
ii. 25.3 % OF BUILDING FACADE SET BACK 10'



AVE. TOP OF CURB ALONG 2ND STREET = 1242'-7"  
BLDG. FFE = 1242'-4"  
AVE. TOP OF CURB IS 3" ABOVE FFE

PER SEC. 5.306.E.2  
BUILDINGS OVER 200' IN LENGTH SHALL ACHIEVE A  
PREVAILING SETBACK BETWEEN 25 AND 35 FEET.  
PREVAILING SETBACK = 8,070 SF / 243'-4" = 33.16'

① Site Plan - Worksheet  
1" = 20'-0"

K & I HOMES, LLC

8125 E. NORMAN SCHOOL RD  
SCOTTSDALE, AZ 85251  
PH: 480-996-3829



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

#	Description	Date
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JOB NUMBER: 1459  
DRAWN BY: KS  
CHECKED BY: KS  
ISSUE DATE: 5/1/2019



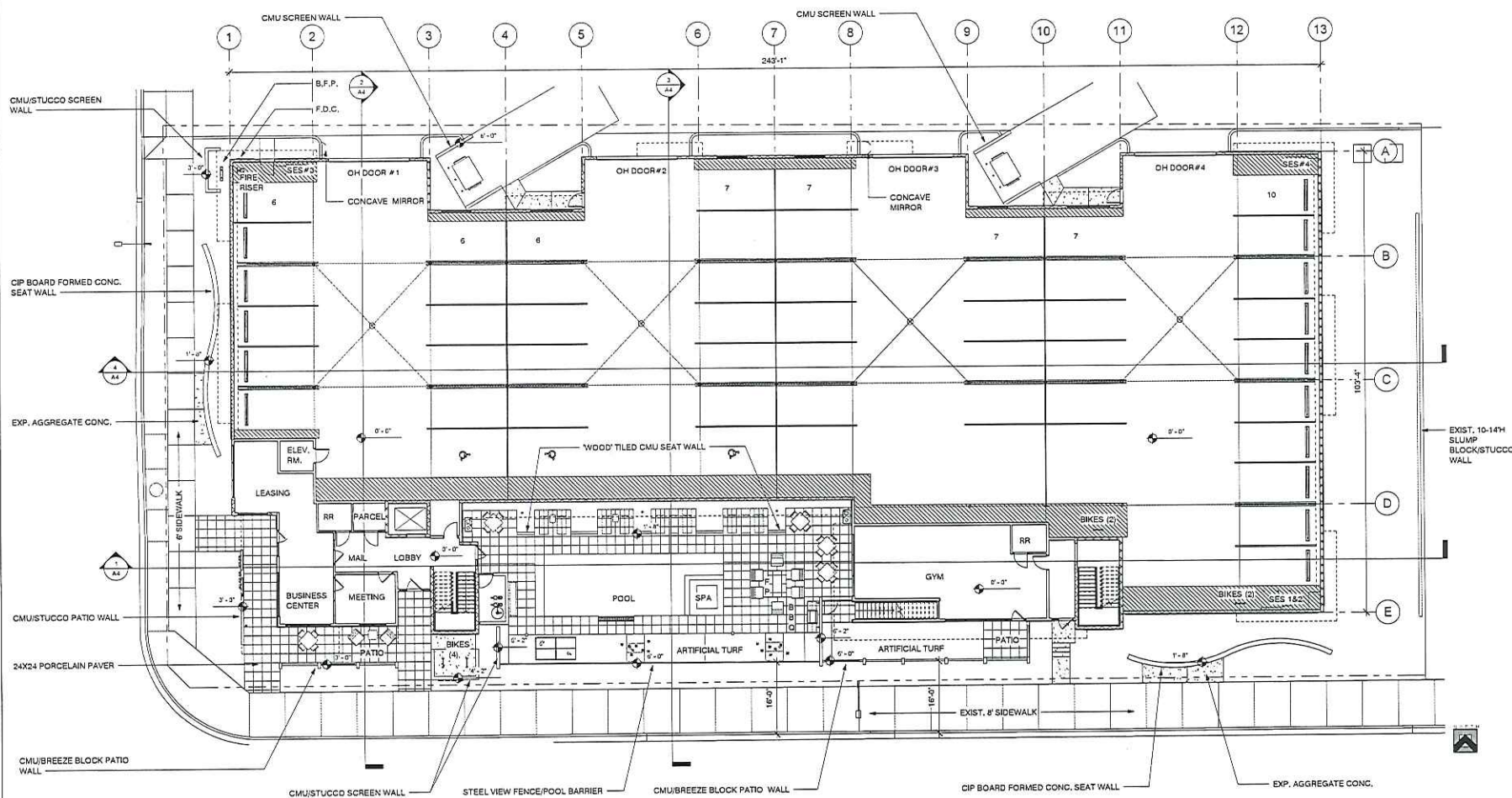
SHEET TITLE:  
Site Plan -  
Worksheet  
SHEET NUMBER:

A1.2

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





① 1st Floor / Hardscape Plan  
3/32" = 1'-0"

REFER TO EXTERIOR BUILDING ELEVATIONS SHEETS A3.1 & 3.2  
FOR SITE WALL ELEVATIONS MATERIAL AND FINISH

**2-ZN-2019**  
**05/10/2019**

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#	Description	Date

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EMERGENCY AND DISASTERS HAVE ALWAYS BEEN PART OF HUMANITY AND ARE ALWAYS HERE. THE IMPORTANCE OF THE SUBJECT IS THAT WHEN THEY DO OCCUR, WE KNOW THAT THERE WILL BE SOMEONE TO TAKE CARE OF US. THAT'S WHY WE HAVE TO BE PREPARED TO DO IT. THAT'S WHY WE HAVE TO BE PREPARED TO DO IT.

JOB NUMBER: 1809
DRAWN BY: KS
CHECKED BY: KS
ISSUE DATE: 5/1/2019

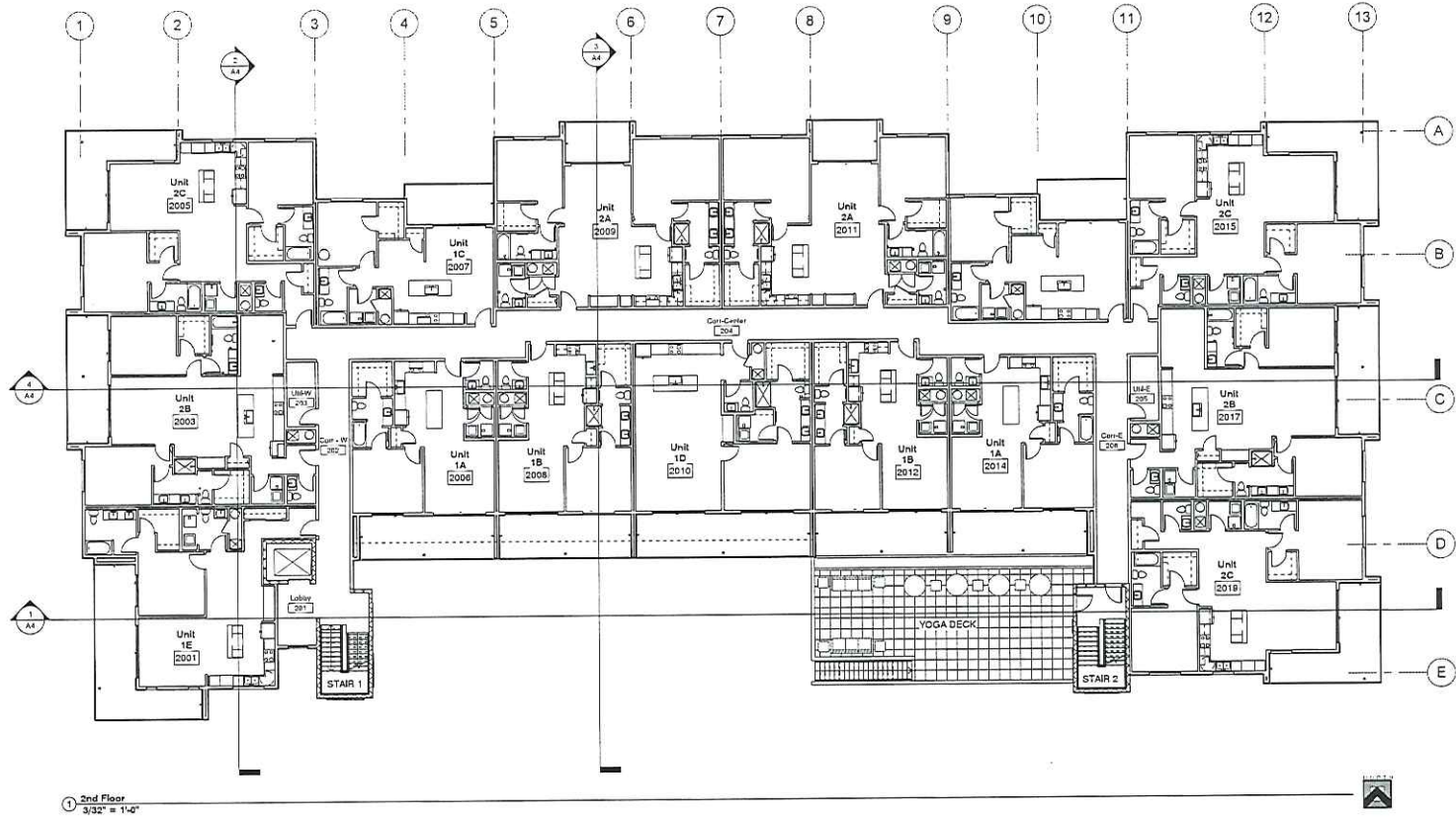


SHEET TITLE:  
**1st Floor Plan /  
Hardscape Plan**

## A2.1

ReZone2 - Design Review1

1000



① 2nd Floor  
3/32" = 1'-0"

**2-ZN-2019**  
**05/10/2019**

**K & J HOMES, LLC**

8125 E. BUNNICK ROAD, NO.  
SCOTTSDALE, AZ 85251  
PH: 602-956-2925



**Clayton**

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ISSUE DATE: 5/1/2019



SHEET TITLE:  
**2nd Floor Plan**

SHEET NUMBER:

**A2.2**

ReZone2 - Design  
Review1



### Average Unit Size and Ratios

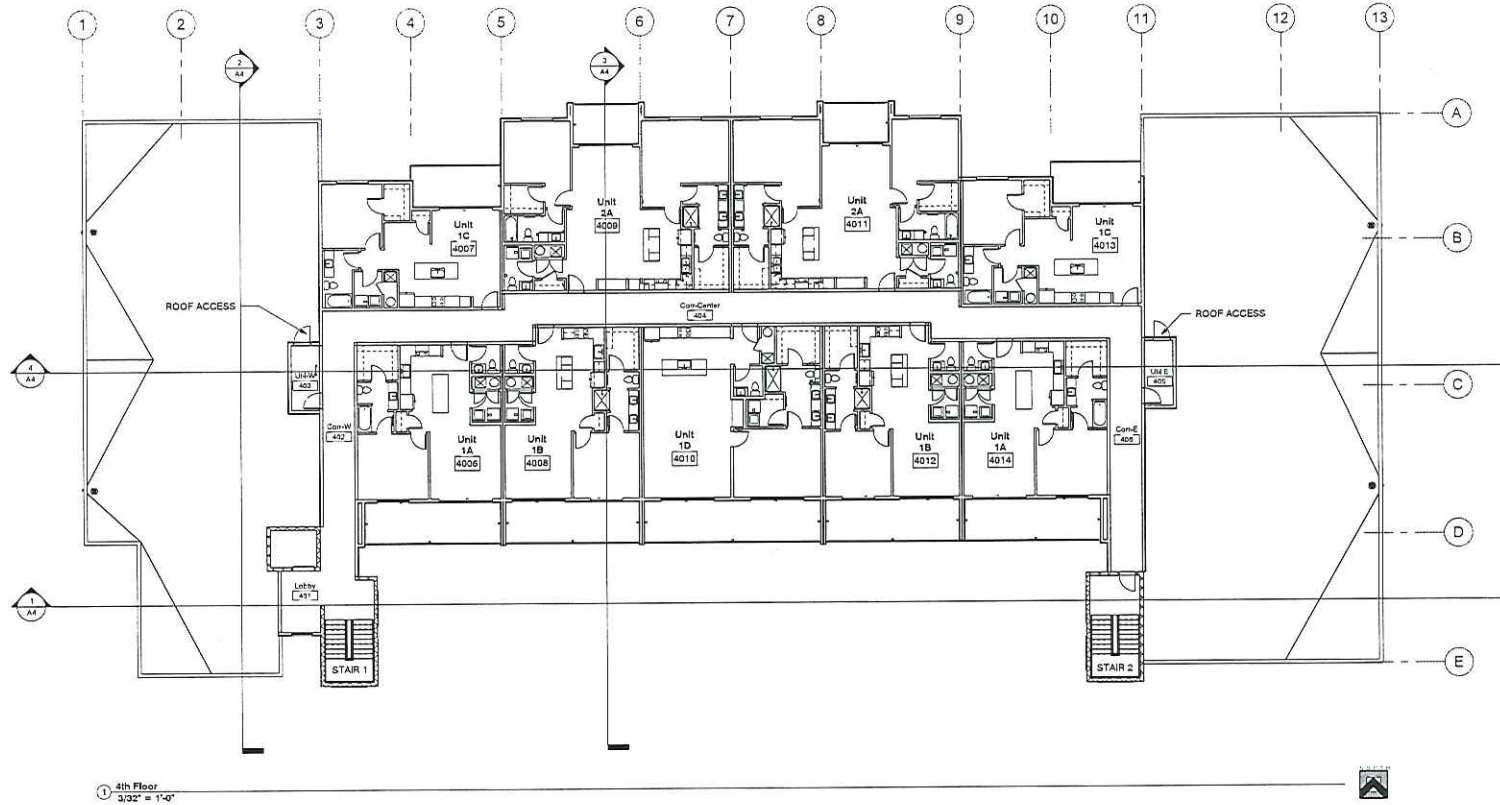
**Note:**

Net Unit Area calculated from inside face of finished walls (Paint to Paint)

Gross Building Areas Measured from outside face of exterior wall sheathing

**2-ZN-2019**  
**05/10/2019**





**2-ZN-2019**  
**05/10/2019**

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Revisions  
 # Description Date

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 ISSUE DATE: 5/1/2019



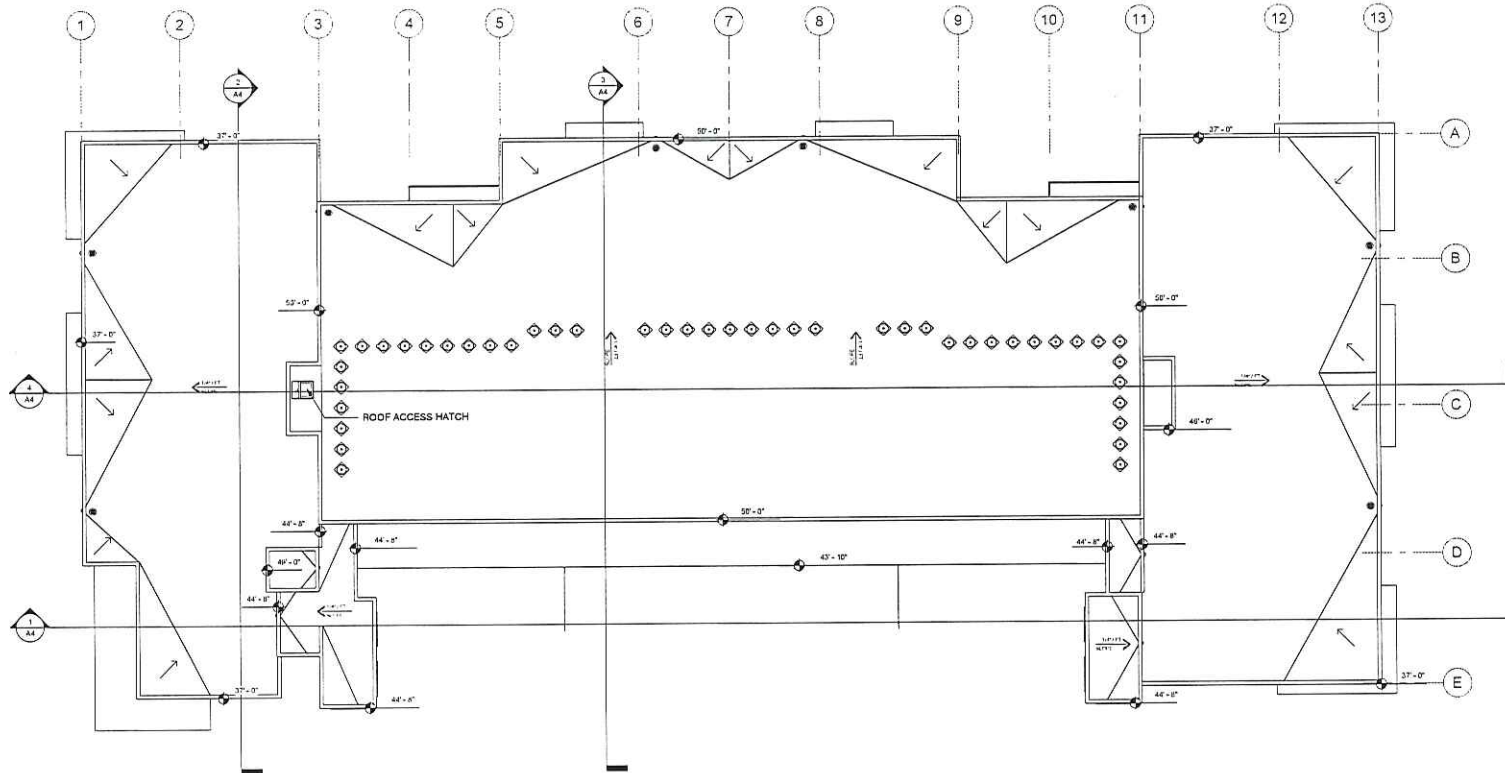
SHEET TITLE  
 4th Floor Plan

SHEET NUMBER:

**A2.4**

ReZone2 - Design  
 Review1





1 Roof Plan  
3/32" = 1'-0"

- 1/4" = 1' SLOPE ROOF SLOPE TO DRAIN 1/4" PER FOOT.
- ROOF CRICKET SLOPE TO DRAIN
- ROOF DRAIN AND OVERFLOW SCUPPER
- CONDENSING UNITS ON RAISED PLATFORM SCREENED BY BUILDING PARAPET
- 0' - 0" HEIGHT OF ELEMENT A.F.F. (0'-0")

**2-ZN-2019**  
**05/10/2019**

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ISSUE DATE: 5/1/2019

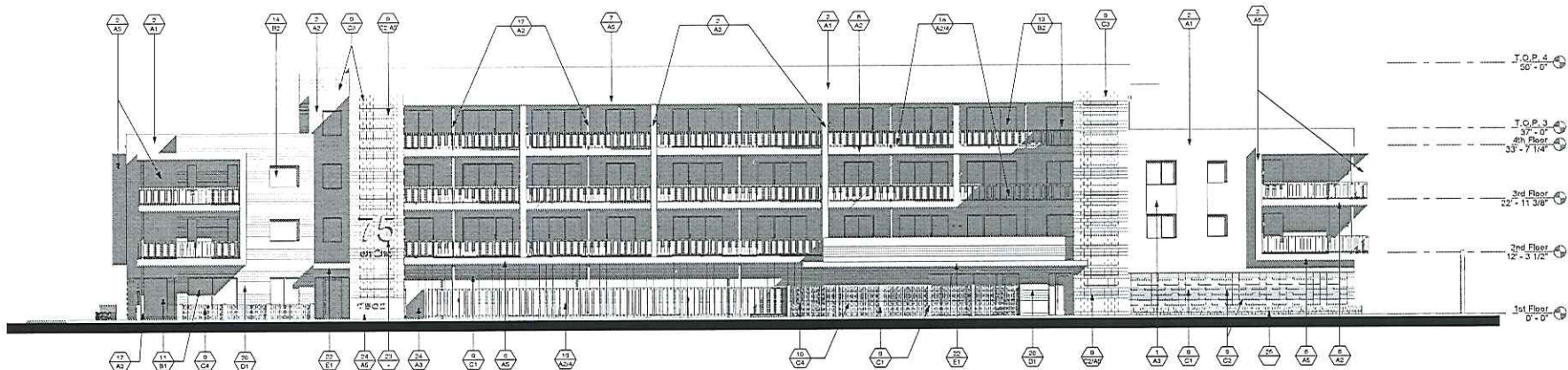


SHEET TITLE:  
**Roof Plan**

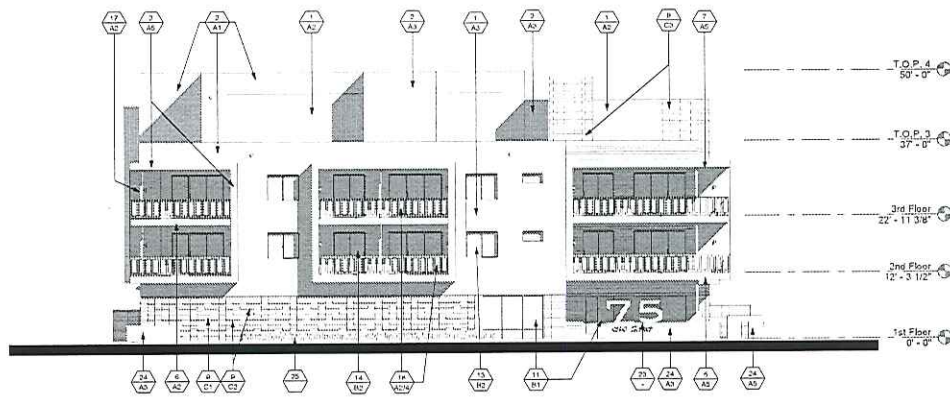
SHEET NUMBER:

**A2.5**

ReZone2 - Design  
Review1



1 South Elevation  
1" = 10'-0"



2 West Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL / COLOR	
MATERIALS / KEY NOTES	GENERAL NOTES
<ol style="list-style-type: none"> <li>STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING</li> <li>STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING</li> <li>STUCCO OVER METAL LATH AND 1" FOAM OVER CMU</li> <li>STUCCO CONTROL JOINT</li> <li>BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH</li> <li>ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE</li> <li>EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS</li> <li>DECORATIVE FENCE BLOCK PANEL - STACKED BOND</li> <li>ALUMINUM STOREFRONT - FACTORY FINISH</li> <li>ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE</li> <li>SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH</li> <li>FIXED/SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH</li> <li>HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE</li> <li>SECTIONAL GARAGE DOOR - FACTORY FINISH</li> <li>STEEL COLUMN - PAINTED</li> <li>TUBE STEEL RAILING/GUARDRAIL - PAINTED</li> <li>TUBE STEEL VIEW / POOL FENCE - PAINTED</li> <li>HORIZONTAL METAL SIDING</li> <li>CMU REFUSE ENCLOSURE</li> <li>STANDING SEAM METAL ROOF</li> <li>BUILDING SIGNAGE - UNDER SPEARATE PERMIT AND SUBMITTAL</li> <li>CMU SITE/SCREEN WALL WITH STUCCO FINISH</li> <li>12" W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'</li> </ol>	<ol style="list-style-type: none"> <li>STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STUCCO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS: ESR-2323 'STO POWERWALL STUCCO SYSTEM ESR-1233 'STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL</li> <li>STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT.</li> <li>STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144" SF. WITH A WIDTH TO LENGTH RATIO OF 1:2. TYPICAL JOINT PLACEMENTS INCLUDE: - HORIZONTALLY AT EACH FLOOR LEVEL - VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES</li> <li>ALL CONTROL JOINTS &amp; REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.</li> <li>PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.</li> <li>PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.</li> <li>PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.</li> <li>ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.</li> <li>PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS</li> <li>ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR</li> <li>ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.</li> </ol>
<b>COLORS</b>	
<b>PAINT:</b> (DUNN EDWARDS 'DE') A1. MAIN FIELD (LIGHT) DW314 - DESERT STAR - LRV 81 A2. 2ND FIELD (MEDIUM) DET625 - RECLAIMED WOOD - LRV 47 A3. ACCENT (DARK) DET626 - METAL FRINGE - LRV 21 A4. ACCENT (TEAL) DET546 - OASIS - LRV 24 A5. ACCENT (ORANGE) DES229 - CLAY TERRACE - LRV 29	<b>MASONRY (SUPERLITE BLOCK)</b> C1. 4x8x16 INTEGRAL COLOR SMOOTH FACE - MW GRAY C2. 4x10x16 INTEGRAL COLOR SMOOTH FACE - MW GRAY 2" OFFSET CORE SHADOW BLOCK C3. 8x8x16 INTEGRAL COLOR SMOOTH FACE - CHARCOAL <b>MASONRY (JORDO BLOCK)</b> C4. 4x12x12 SQUARE ON SQUARE BREEZE BLOCK - MW GRAY
<b>ALUMINUM STOREFRONT:</b> (ARCADIA) B1. AB-7 'STANDARD DARK BRONZE' ANODIZED	<b>WOOD GRAIN METAL SIDING:</b> (RMP ROLLFAB) D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE
<b>SLIDING GLASS DOORS AND WINDOWS:</b> (MILGARD) B2. DARK BRONZE ANODIZED	<b>METAL ROOF PANELS:</b> (MORIN OR EQ.) E1. CUSTOM COLOR TO MATCH PAINT AS

K & J HOMES, LLC

6135 E. RIMAN SCHOOL RD  
SCOTTSDALE, AZ 85261  
PH: 602-996-9295



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7502 East 2nd Street  
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Revisions		
#	Description	Date

### CONTRACTOR OF RECORD

DESIGNER: K&J HOMES, LLC  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 ISSUE DATE: 5/10/2019



SHEET TITLE:  
Exterior Elevations

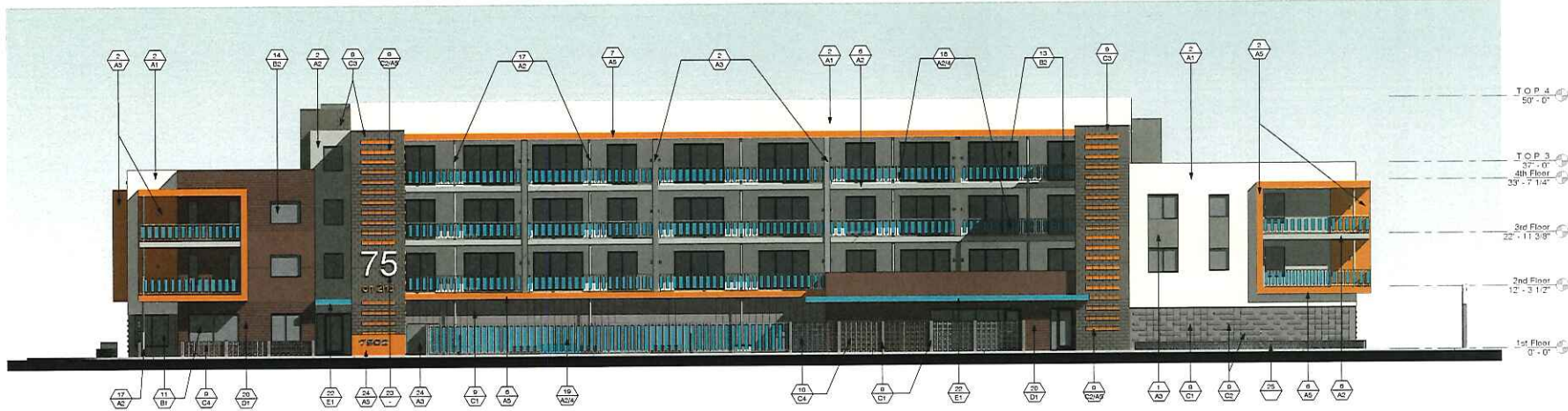
SHEET NUMBER:

**A3.1**

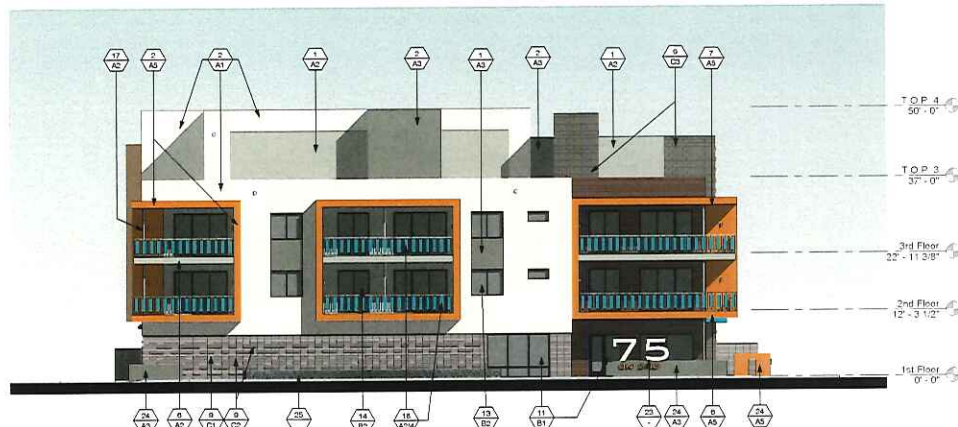
ReZone2 - Design  
Review1

**2-ZN-2019**  
**05/10/2019**





1 South Elevation  
1" = 10'-0"



2 West Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
4. STUCCO CONTROL JOINT
5. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
6. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
7. DECORATIVE FENCE BLOCK PANEL - STACKED BOND
8. ALUMINUM STOREFRONT - FACTORY FINISH
9. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
10. SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH
11. FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
12. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
13. SECTIONAL GARAGE DOOR - FACTORY FINISH
14. STEEL COLUMN - PAINTED
15. TUBE STEEL RAILING/GUARDRAIL - PAINTED
16. TUBE STEEL VIEW / POOL FENCE - PAINTED
17. HORIZONTAL METAL SIDING
18. CMU REFUSE ENCLOSURE
19. STANDING SEAM METAL ROOF
20. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
21. CMU SITE/SCREEN WALL WITH STUCCO FINISH
22. 12"W GAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL
23. COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'

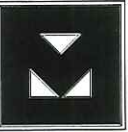
### GENERAL NOTES

1. STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD, WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STUCCO WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:  
ESR-2323 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT
3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF, WITH A WIDTH TO LENGTH RATIO OF 1:2 1/2. TYPICAL JOINT PLACEMENTS INCLUDE:  
- HORIZONTALLY AT EACH FLOOR LEVEL  
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
4. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
5. PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
7. PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG COLOR U.N.O.
8. ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
9. PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
10. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
11. ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.

### COLORS

PAINT (DUNN EDWARDS 'DE)		MASONRY (SUPERLITE BLOCK)	
A1. MAIN FIELD (LIGHT)	DW314 - DESERT STAR - LRV 81	C1. 4x8x16	INTEGRAL COLOR SMOOTH FACE - MW GRAY
A2. 2ND FIELD (MEDIUM)	DET625 - RECLAIMED WOOD - LRV 47	C2. 4X10X16	INTEGRAL COLOR SMOOTH FACE - MW GRAY
A3. ACCENT (DARK)	DET626 - METAL FRINGE - LRV 21	C3. 8x8x16	2" OFFSET CORE SHADOW BLOCK - CHARCOAL
A4. ACCENT (TEAL)	DET646 - OASIS - LRV 24	MASONRY (ORCO BLOCK)	INTEGRAL COLOR SMOOTH FACE - MW GRAY
A5. ACCENT (ORANGE)	DES229 - CLAY TERRACE - LRV 29	C4. 4X12X12	SQUARE ON SQUARE BREEZE BLOCK - MW GRAY
ALUMINUM STOREFRONT: (ARCADIA)		WOOD GRAIN METAL SIDING: (PMP ROLLFAB)	
B1. AB-7 'STANDARD DARK BRONZE' ANOZIDED		D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE	
SLIDING GLASS DOORS AND WINDOWS: (MILGARD)		METAL ROOF PANELS (MORIN OR EQ.)	
B2. DARK BRONZE ANOZIDED		E1. CUSTOM COLOR TO MATCH PAINT A5	

K & I HOMES, LLC



Clayton

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JOB NUMBER: 1909  
DRAWN BY: Author  
CHECKED BY: Checker  
ISSUE DATE: 5/1/2019



SHEET TITLE:  
Exterior Elevations

SHEET NUMBER:

A3.1

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019





1 South Elevation (2nd Street)  
1" = 10'-0"



2 West Elevation (75th Street)  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL	X
COLOR	X

MATERIALS / KEY NOTES	GENERAL NOTES
1. STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING	1. STUCCO SYSTEM TO BE 'STO POWERWALL' OVER 1" INSULATION BOARD, WITH 1/8" FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:
2. STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING	ESR-2323 STO POWERWALL STUCCO SYSTEM
3. STUCCO OVER METAL LATH AND 1" FOAM OVER CMU	ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
4. STUCCO CONTROL JOINT	2. STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT
5. BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH	3. STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF, WITH A WIDTH TO LENGTH RATIO OF 1:2 1/2. TYPICAL JOINT PLACEMENTS INCLUDE:
6. ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE	- HORIZONTALLY AT EACH FLOOR LEVEL
7. EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS	- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
8. DECORATIVE FENCE BLOCK PANEL - STACKED BOND	4. ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
9. ALUMINUM STOREFRONT - FACTORY FINISH	5. PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
10. ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE	6. PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
11. SLIDING ALUMINUM GLASS PATIO DOORS - FACTORY FINISH	7. PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
12. FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH	8. ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
13. HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE	9. PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
14. SECTIONAL GARAGE DOOR - FACTORY FINISH	10. ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
15. STEEL COLUMN - PAINTED	11. ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.
16. TUBE STEEL RAILING/GUARDRAIL - PAINTED	
17. TUBE STEEL VIEW / POOL FENCE - PAINTED	
18. HORIZONTAL METAL SIDING	
19. CMU REFUSE ENCLOSURE	
20. STANDING SEAM METAL ROOF	
21. BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL	
22. CMU SITE/SCREEN WALL WITH STUCCO FINISH	
23. 12"W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL	
24. COLOR AND TEXTURE TO MATCH 'CLAYTON HOUSE'	

COLORS
PAINT: (DUNN EDWARDS 'DE')
A1. MAIN FIELD (LIGHT) DW314 - DESERT STAR - LRV 81
A2. 2ND FIELD (MEDIUM) DET625 - RECLAIMED WOOD - LRV 47
A3. ACCENT (DARK) DET686 - METAL FRINGE - LRV 21
A4. ACCENT (TEAL) DET546 - OASIS - LRV 24
A5. ACCENT (ORANGE) DES229 - CLAY TERRACE - LRV 29
ALUMINUM STOREFRONT: (ARCADIA)
B1. AB-7 STANDARD DARK BRONZE ANODIZED
SLIDING GLASS DOORS AND WINDOWS: (MILGARD)
B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)	
C1. 4x8x16 INTEGRAL COLOR SMOOTH FACE - MW GRAY	
C2. 4X10X16 INTEGRAL COLOR SMOOTH FACE - MW GRAY	
C3. 8x8x16 2" OFFSET CORE SHADOW BLOCK - CHARCOAL	
MASONRY (ORCO BLOCK)	
C4. 4X12X12 SQUARE ON SQUARE BREEZE BLOCK - MW GRAY	
WOOD GRAIN METAL SIDING: (RMP ROLLFAB)	
D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE	
METAL ROOF PANELS (MORIN OR EQ.)	
E1. CUSTOM COLOR TO MATCH PAINT A5	

K & I HOMES, LLC

6125 E. WILSON SCHOOL RD.  
SCOTTSDALE, AZ 85251  
DATE: 05/10/2019  
PH: 602-959-2925



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

### Revisions

#	Description	Date

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JOB NUMBER: 1839  
DRAWN BY: Author  
CHECKED BY: Checker  
ISSUE DATE: 5/1/2019



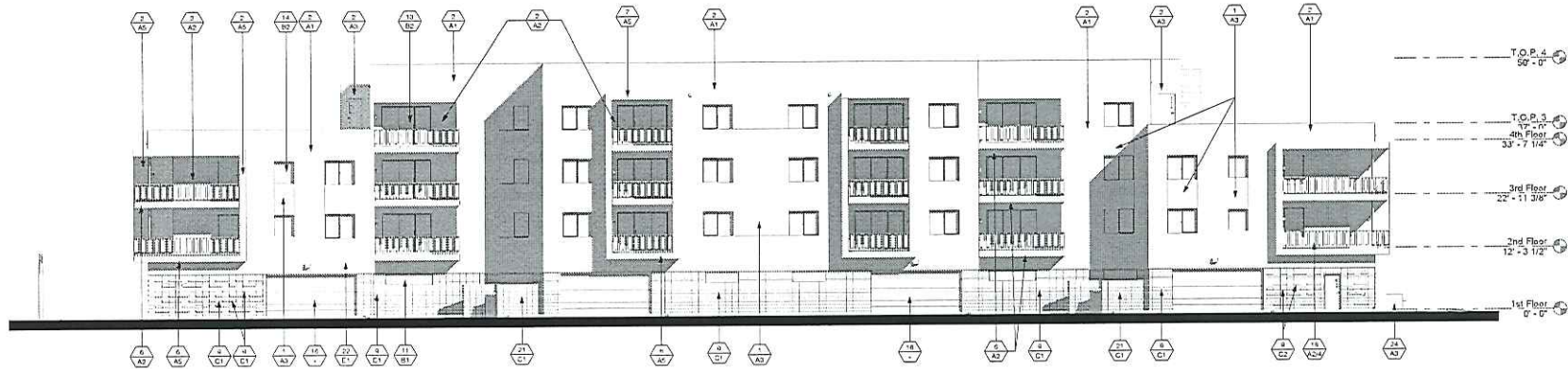
SHEET TITLE:  
Exterior Elevations  
(Streetscape)  
SHEET NUMBER:

**A3.1**

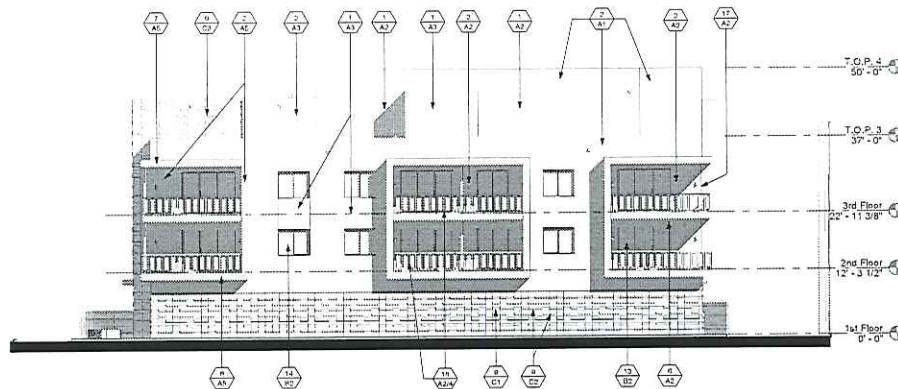
ReZone2 - Design  
Review1

2-ZN-2019

**2-ZN-2019**  
**05/10/2019**



1 North Elevation  
3/32" = 1'-0"



2 East Elevation  
3/32" = 1'-0"

## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

### MATERIALS / KEY NOTES

- STUCCO OVER PAPER BACKED METAL LATH ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM ON EXT. GRADE PLYWOOD SHEATHING
- STUCCO OVER METAL LATH AND 1" FOAM OVER CMU
- STUCCO CONTROL JOINT
- BALCONY FACIA WITH METAL T-BAR AND STUCCO FINISH
- ROOF OVERHANG - STUCCO FRONT FACIA AND UNDERSIDE
- EXPOSED MASONRY - RUNNING BOND, RAKED JOINTS
- DECORATIVE FENCE BLOCK PANEL - STACKED BOND
- ALUMINUM STOREFRONT - FACTORY FINISH
- ALUMINUM STOREFRONT / DOORS - SEE SCHEDULE
- SLIDING ALUMINUM/GLASS PATIO DOORS - FACTORY FINISH
- FIXED SINGLE SLIDING ALUMINUM WINDOW - FACTORY FINISH
- HOLLOW METAL DOOR AND FRAME - PAINTED - SEE SCHEDULE
- SECTIONAL GARAGE DOOR - FACTORY FINISH
- STEEL COLUMN - PAINTED
- TUBE STEEL RAILING/GUARDRAIL - PAINTED
- TUBE STEEL VIEW / POOL FENCE - PAINTED
- HORIZONTAL METAL SIDING
- CMU REFUSE ENCLOSURE
- STANDING SEAM METAL ROOF
- BUILDING SIGNAGE - UNDER SEPARATE PERMIT AND SUBMITTAL
- CMU SITE/SCREEN WALL WITH STUCCO FINISH
- 12" W CAST IN PLACE BOARD FORMED CONCRETE SEAT/SITE WALL COLOR AND TEXTURE TO MATCH CLAYTON HOUSE

### GENERAL NOTES

- STUCCO SYSTEM TO BE 'STO POWERWALL OVER 1" INSULATION BOARD, WITH 1.0/FINE INTEGRAL COLORED FINISH TO MATCH PAINT COLOR SPECIFIED. SYSTEM TO BE INSTALLED OVER STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIER, PER THE FOLLOWING EVALUATION REPORTS:  
ESR-1233 STO POWERWALL STUCCO SYSTEM  
ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
- STUCCO CONTROL JOINTS SHOWN AT TYPICAL LOCATIONS ONLY. PROVIDE ADDITIONAL CONTROL JOINTS AS MAY BE REQUIRED AND RECOMMENDED BY STUCCO MANUFACTURER VERIFY LOCATION WITH ARCHITECT.
- STUCCO CONTROL JOINTS TO BE PROVIDED SO THAT MAX. STUCCO PANEL SIZE IS 144 SF WITH A WIDTH TO LENGTH RATIO OF 1:2. TYPICAL JOINT PLACEMENTS INCLUDE:  
- HORIZONTALLY AT EACH FLOOR LEVEL  
- VERTICALLY FROM CORNER OF SLIDING DOORS, WINDOWS AND BALCONIES
- ALL CONTROL JOINTS & REVEALS TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE SEALANT AT ALL STUCCO PENETRATIONS.
- PAINT ALL EXTERIOR MOUNTED ELECTRICAL AND MECHANICAL PANELS/BOXES TO MATCH ADJACENT SURFACE OF THE BUILDING.
- PAINT ALL VENTS, FLASHING, MISC. MATERIALS TO MATCH ADJ. BLDG. COLOR U.N.O.
- ALL PAINT COLOR CHANGES TO TERMINATE ON INSIDE CORNERS ONLY.
- PROVIDE 2" OR 4" SOLID CMU CAPS AT ALL EXPOSED CMU SITE WALLS
- ALL EXPOSED DRYER AND EXHAUST VENTS TO BE ALIGNED HORIZONTALLY (AT EACH FLOOR), AND VERTICALLY (FROM FLOOR TO FLOOR) AND PAINTED TO MATCH ADJACENT STUCCO COLOR
- ALL EXPOSED CMU TO BE STACKED OR RUNNING BOND AS SHOWN, WITH RAKED JOINTS, U.N.O.

### COLORS

PAINT: (DUNN EDWARDS 'DE)		
A1. MAIN FIELD (LIGHT)	DW314 - DESERT STAR	- LRV 81
A2. 2ND FIELD (MEDIUM)	DET625 - RECLAIMED WOOD	- LRV 47
A3. ACCENT (DARK)	DET626 - METAL FRINGE	- LRV 21
A4. ACCENT (TEAL)	DET546 - OASIS	- LRV 24
A5. ACCENT (ORANGE)	DES229 - CLAY TERRACE	- LRV 29

ALUMINUM STOREFRONT: (ARCADIA)  
B1. AB-7 'STANDARD DARK BRONZE' ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)  
B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)		
C1. 4x8x16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
C2. 4x10x16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
	2" OFFSET CORE SHADOW BLOCK	- CHARCOAL
C3. 8x8x16	INTEGRAL COLOR SMOOTH FACE	- MW GRAY
MASONRY (ORCO BLOCK)		
C4. 4x12x12	SQUARE ON SQUARE BREEZE BLOCK	- MW GRAY

WOOD GRAIN METAL SIDING: (RMP ROLLFAB)  
D1. ALUMABOARD HAZELNUT BROWN E-V-GROOVE

METAL ROOF PANELS: (MORIN OR EQ.)  
E1. CUSTOM COLOR TO MATCH PAINT A5

K & L HOMES, LLC

6155 E INMAN SCOTTDALE, AZ  
SCOTTDALE, AZ 85261  
PH: 480-995-5293



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions  
# Description Date

OWNER/PROJECT  
DOCUMENTS

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JOB NUMBER: 1608  
DRAWN BY: KS  
CHECKED BY: KS  
ISSUE DATE: 07/08/19

22-2  
K & L HOMES, LLC

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

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22-2  
K & L HOMES, LLC

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

2-ZN-2019  
05/10/2019

ReZone2 - Design  
Review1

A3.2

Sheet Title:  
Exterior Elevations

Sheet Number:

22-2  
K & L HOMES, LLC

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions  
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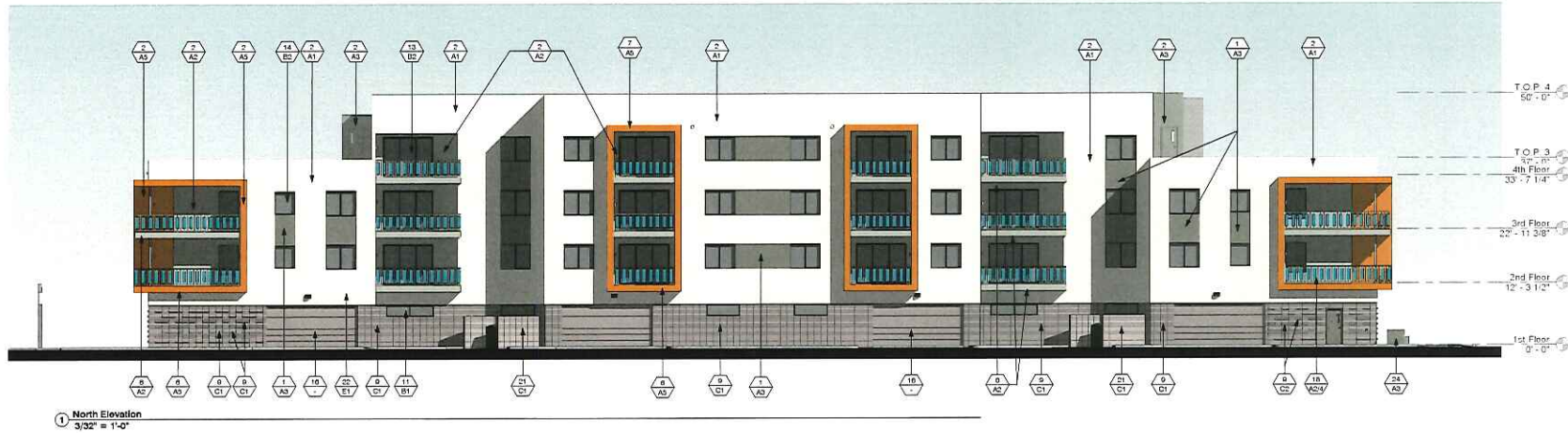
22-2  
K & L HOMES, LLC

75 on 2nd  
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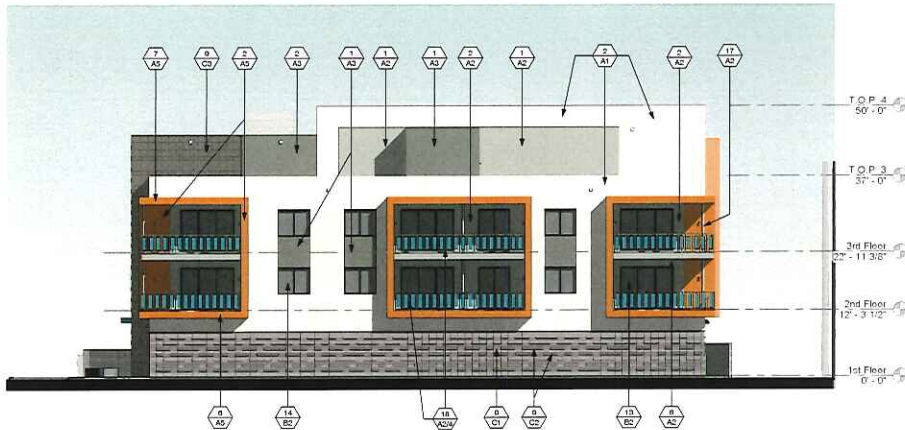
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1 North Elevation  
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## MATERIAL / COLOR SCHEDULE

MATERIAL  
COLOR

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ESR-1233 STO GUARD WITH GOLD COAT WATER RESISTIVE BARRIERS - OR APPROVED EQUAL
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### COLORS

PAINT: (JUNN EDWARDS 'DE)

- |                        |                         |          |
|------------------------|-------------------------|----------|
| A1. MAIN FIELD (LIGHT) | DW314 - DESERT STAR     | - LRV 81 |
| A2. 2ND FIELD (MEDIUM) | DET925 - RECLAIMED WOOD | - LRV 47 |
| A3. ACCENT (DARK)      | DET626 - METAL FRINGE   | - LRV 21 |
| A4. ACCENT (TEAL)      | DET548 - OASIS          | - LRV 24 |
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ALUMINUM STOREFRONT: (ARCADIA)

B1. AB-7 STANDARD DARK BRONZE ANODIZED

SLIDING GLASS DOORS AND WINDOWS: (MILGARD)

B2. DARK BRONZE ANODIZED

MASONRY (SUPERLITE BLOCK)

- |             |                               |            |
|-------------|-------------------------------|------------|
| C1. 4x8x16  | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C2. 4x10x16 | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C3. 8x8x16  | 2" OFFSET CORE SHADOW BLOCK   | - CHARCOAL |
| C4. 4x12x12 | INTEGRAL COLOR SMOOTH FACE    | - MW GRAY  |
| C5. 4x12x12 | SQUARE ON SQUARE BREEZE BLOCK | - MW GRAY  |

WOOD GRAIN METAL SIDING: (PMP ROLL-FAB)

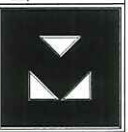
D1. ALUMABOARD HAZELNUT BROWN 6" V-GROOVE

METAL ROOF PANELS: (MORIN OR EQ.)

E1. CUSTOM COLOR TO MATCH PAINT A5

K&I HOMES, LLC

6125 E. JORDAN ROAD, RD  
SUITE 100  
SCOTTSDALE, AZ 85251  
PH: 602-958-2028



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

### Revisions

#	Description	Date
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JOB NUMBER: 1509

DRAWN BY: KS

CHECKED BY: KS

ISSUE DATE: 5/1/2019



SHEET TITLE: Exterior Elevations

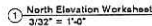
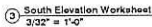
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A3.2

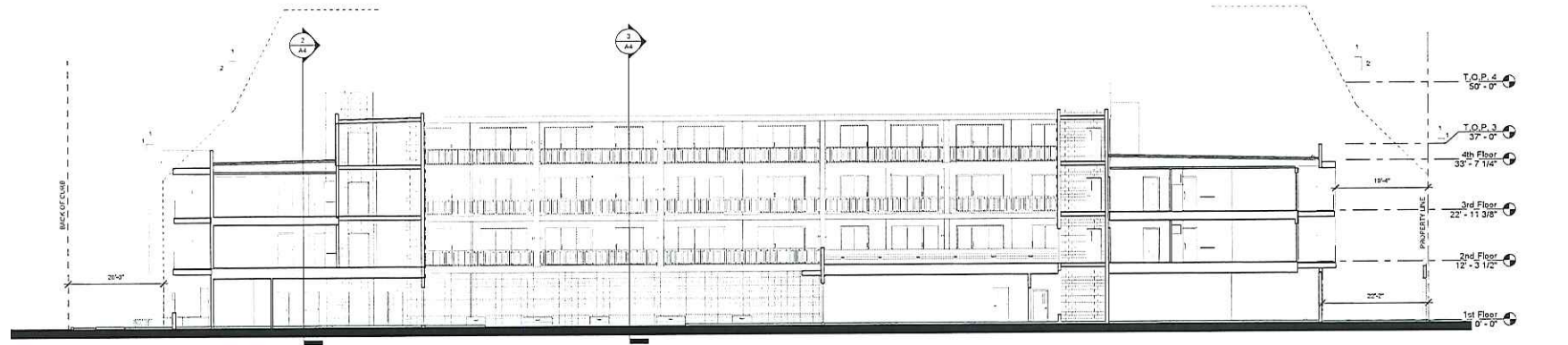
ReZone2 - Design Review1

2-ZN-2019  
05/10/2019

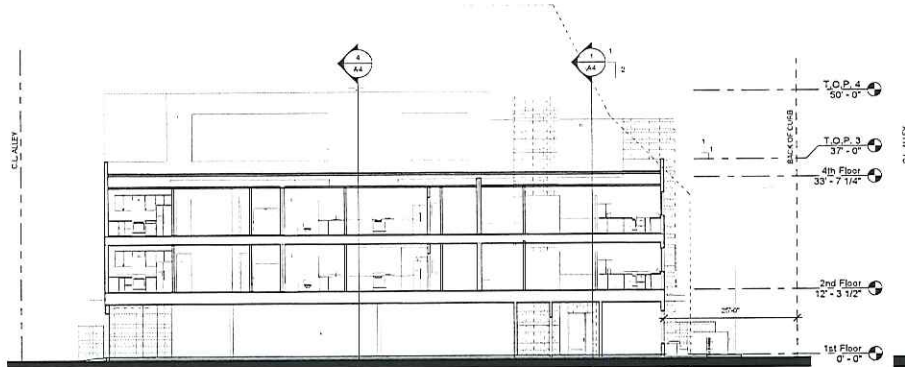




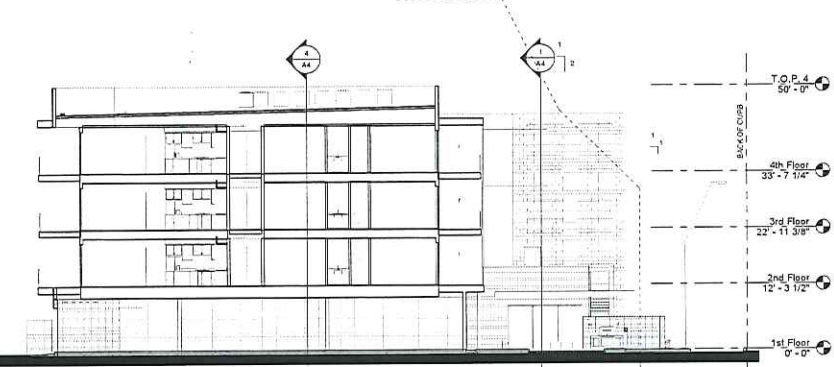
**2-ZN-2019**  
**05/10/2019**



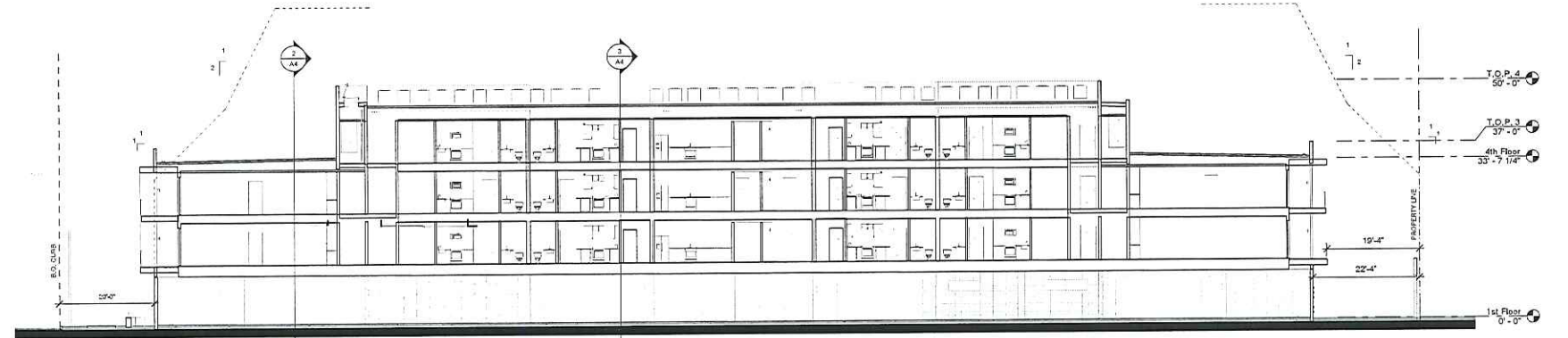
1 Section E-W Front  
3/32" = 1'-0"



2 Section N-S West End  
3/32" = 1'-0"



3 Section N-S Center  
3/32" = 1'-0"



4 Section E-W Center  
3/32" = 1'-0"

K & I HOMES, LLC

6125 E. KIMBROUGH RD  
SCOTTSDALE, AZ 85251  
PH: 602-955-2523



Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions

# Description Date

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JOB NUMBER: 1008  
DRAWN BY: KS  
CHECKED BY: KS  
ISSUE DATE: 5/10/2019



SHEET TITLE:  
Building Sections - Overall

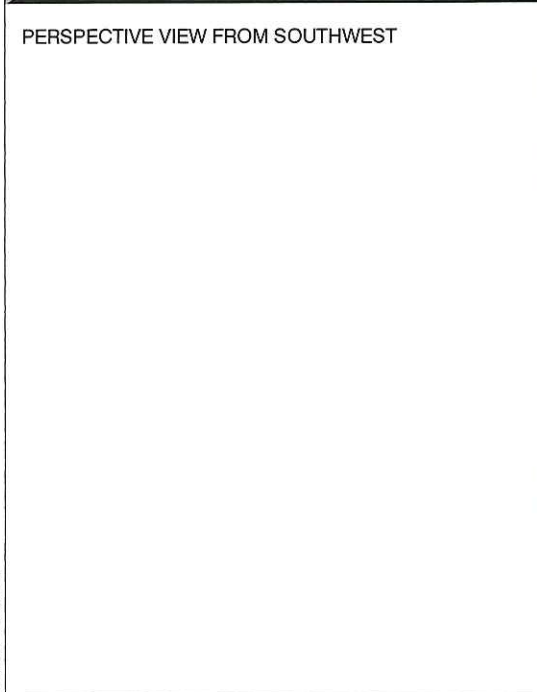
SHEET NUMBER:

A4

ReZone2 - Design Review1

2-ZN-2019  
05/10/2019





PERSPECTIVE VIEW FROM SOUTHWEST



PERSPECTIVE VIEW FROM SOUTHEAST

 Clayton

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions		
#	Description	Date

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JOB NUMBER: 1809
DRAWN BY: KS
CHECKED BY: KS
ISSUE DATE: 5/1/2019



L. Sigurdson

SHEET TITLE:  
**Renderings**

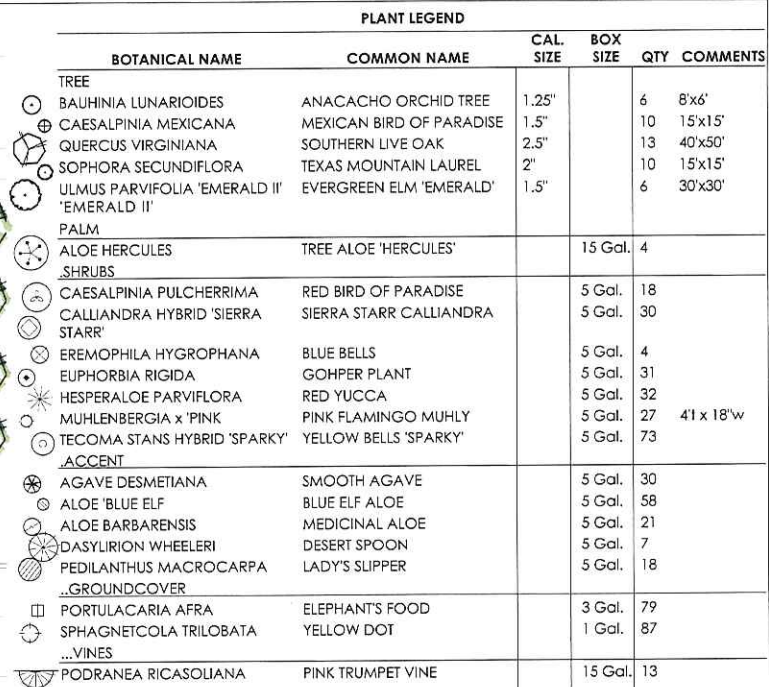
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**A5**

ReZone2 - Design Review1

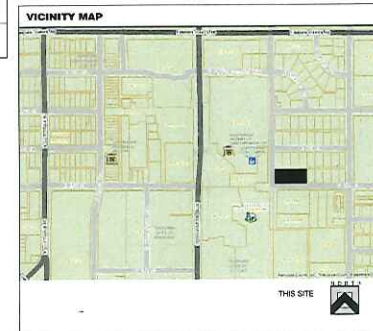
**2-ZN-2019**  
**05/10/2019**





<input type="checkbox"/>	3/4" MINUS DECOMPOSED GRANITE, 'MADISON GOLD'	+/- 6,725 S.F.
<input type="checkbox"/>	3"-8" RIP RAP, 'MADISON GOLD' 2' AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)	PER CIVIL PLANS
<input type="checkbox"/>	SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48", INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE	+/- 775 S.F.

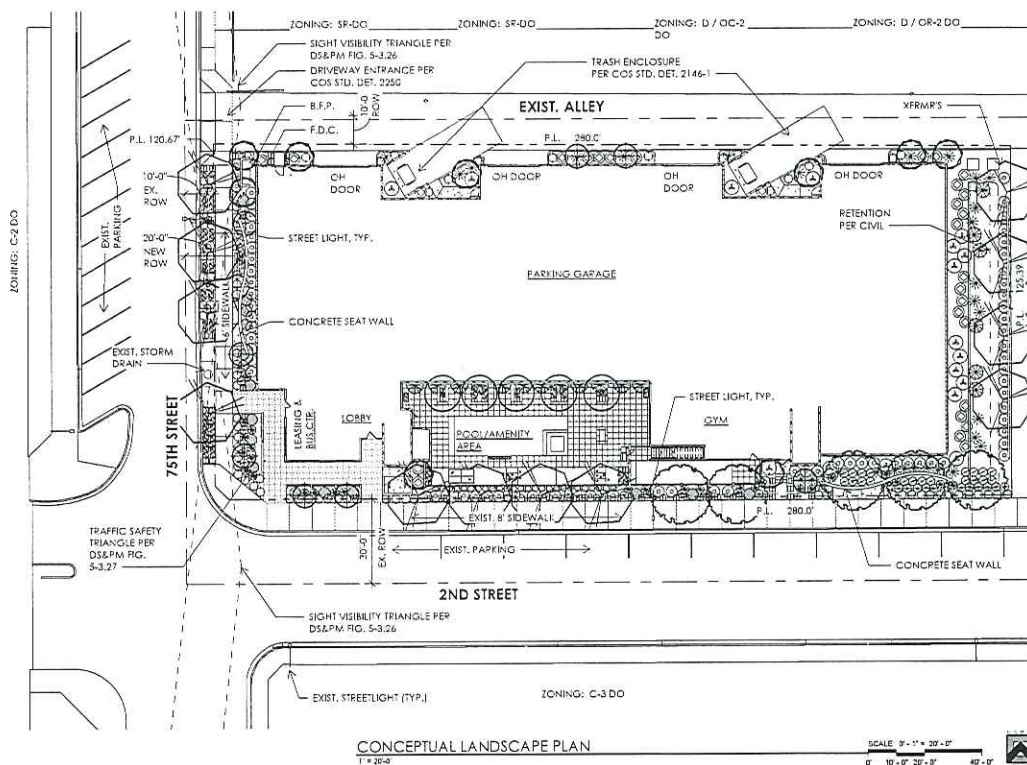
LANDSCAPE OPEN SPACE	+/- 2,470 s.f.
PARKING LANDSCAPE	NA
FRONTAGE LANDSCAPE	+/- 624 s.f.



1. DECOMPOSED GRANITE OR SIMILAR MATERIAL AROUND THE MATURE FORM OF A SPECIMEN PLANT, TREE CANOPY, OR GROUPS OF PLANTS, SHALL NOT EXCEED SEVEN (7) FEET IN ANY DIRECTION, PER ZONING ORDINANCE SECTION 10.501.A.
2. ALL TREES SHALL BE FIFTEEN (15) GALLON MINIMUM SIZE, AND A LEAST FIFTY (50) PERCENT SHALL BE MATURE TREES WITH A MINIMUM 2" CALIPER.
3. THIS PROJECT CONTAINS NO NEW PARKING / LANDSCAPE AREAS & REQUIREMENTS.
4. ALL PLANT MATERIALS SHALL BE FROM THE ARIZONA DEPARTMENT OF WATER RESOURCE'S (ADWR) PHOENIX ACTIVE MANAGEMENT AREA PLANT LIST & IS EXEMPT FROM THE CITY OF SCOTTSDALE'S ENVIRONMENTALLY SENSITIVE LANDS ORDINANCE (ESLO) PLANT LIST.
5. THIS PROJECT DOES NOT CONTAIN ANY NATURAL AREA OPEN SPACE (NAOS).
6. NO NATIVE PLANT INVENTORY & SALVAGE REQUIRED FOR THIS LOCATION.
7. THORNY SHRUBS AND CACTI SHALL BE PLANTED SO THAT THEIR MATURE SIZE/CANOPY WILL BE AT LEAST 4 FEET AWAY FROM ANY WALKWAYS OR PARKING AREA CURBING, PER DSPM SEC. 2-1.1001.13.
8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL FIRELANE SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802[3]
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

2-ZN-2019  
05/10/2019





## LANDSCAPE NOTES

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8. ALL SIDEWALKS TO BE A MIN. 6'-0" CLEAR.
9. ALL FIRELANE SURFACES SHALL SUPPORT 83,000 LBS GROSS VEHICULAR WEIGHT PER DS & PM 2-1.802(3)
10. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
11. REFER TO CIVIL FOR ALL GRADING, DRAINAGE, RETENTION AREAS, SETBACKS, EASEMENTS & P.U.E. LOCATIONS

PLANT LEGEND					
BOTANICAL NAME	COMMON NAME	CAL. SIZE	BOX SIZE	QTY	COMMENTS
<b>TREE</b>					
BAUHINIA LUNARIOIDES	ANACACHO ORCHID TREE	1.25"	6	8'x6'	
CAESALPINIA MEXICANA	MEXICAN BIRD OF PARADISE	1.5"	10	15'x15'	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	2.5"	13	40'x50'	
SOPHORA SECUNDIFLORA	TEXAS MOUNTAIN LAUREL	2"	10	15'x15'	
ULMUS PARVIFOLIA 'EMERALD II'	EVERGREEN ELM 'EMERALD'	1.5"	6	30'x30'	
<b>PALM</b>					
ALOE HERCULES	TREE ALOE 'HERCULES'		15 Gal.	4	
<b>SHRUBS</b>					
CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE		5 Gal.	18	
CALLIANDRA HYBRID 'SIERRA STARR'	SIERRA STARR CALLIANDRA		5 Gal.	30	
EREMOPHILA HYGROPHANA	BLUE BELLS		5 Gal.	4	
EUPHORBIA RIGIDA	GOHPER PLANT		5 Gal.	31	
HESPERALOE PARVIFLORA	RED YUCCA		5 Gal.	32	
MUHLENBERGIA x 'PINK	PINK FLAMINGO MUHLY		5 Gal.	27	4'1 x 18'w
TECOMA STANS HYBRID 'SPARKY'	YELLOW BELLS 'SPARKY'		5 Gal.	73	
<b>ACCENT</b>					
AGAVE DESMETIANA	SMOOTH AGAVE		5 Gal.	30	
ALOE 'BLUE ELF'	BLUE ELF ALOE		5 Gal.	58	
ALOE BARBARENSIS	MEDICINAL ALOE		5 Gal.	21	
DASYLIRION WHEELERI	DESERT SPOON		5 Gal.	7	
PEDILANTHUS MACROCARPA	LADY'S SLIPPER		5 Gal.	18	
<b>GROUND COVER</b>					
PORTULACARIA AFRA	ELEPHANT'S FOOD		3 Gal.	79	
SPHAGNETCOLA TRILOBATA	YELLOW DOT		1 Gal.	87	
<b>VINES</b>					
PODRANEA RICASOLIANA	PINK TRUMPET VINE		15 Gal.	13	

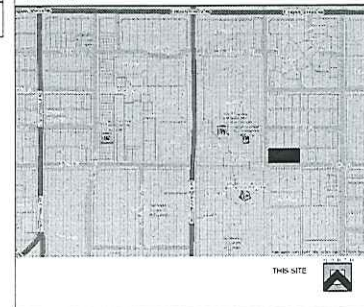
## GROUND PLANE TREATMENT

3/4" MINUS DECOMPOSED GRANITE, 'MADISON GOLD'	+/- 6,725 S.F.
3"-8" RIP RAP, 'MADISON GOLD'	PER CIVIL PLANS
2' AROUND ALL CATCH BASIN LOCATIONS (NATURAL PLACEMENT)	
SYNTHETIC TURF - ACT GLOBAL 'NATURAL 48', INSTALL OVER 4" 1/4" MINUS DECOMPOSED GRANITE	+/- 775 S.F.

## LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE	+/- 2,470 s.f.
PARKING LANDSCAPE	NA
FRONTAGE LANDSCAPE	+/- 624 s.f.

## VICINITY MAP



K &amp; I HOMES, LLC

6115 E SUNSHINE AVENUE, RD  
SCOTTSDALE, AZ 85251  
PH: 602-969-2623



Clayton

PIXELstudios

TAKING DESIGN TO A WHOLE NEW LEVEL

75 on 2nd  
7502 East 2nd Street  
Scottsdale, AZ

Revisions  
# Description Date

OWNER/PROJECT

LANDSCAPE ARCHITECTURE FIRM  
DESIGNER: K & I HOMES, LLC  
PROJECT: 75 ON 2ND  
DATE: 5/10/2019

JOB NUMBER: 14004

DRAWN BY: DSS

CHECKED BY: DSS

ISSUE DATE: 5/10/2019



SHEET TITLE:  
Landscape Plan

SHEET NUMBER:

L-1

ReZone2 - Design  
Review1

2-ZN-2019  
05/10/2019